

Planning Committee Agenda



To: Councillor Chris Clark (Chair)
Councillor Leila Ben-Hassel (Vice-Chair)
Councillors Joy Prince, Clive Fraser, Humayun Kabir, Jamie Audsley,
Gareth Streeter, Scott Roche, Ian Parker and Lynne Hale

Reserve Members: Toni Letts, Bernadette Khan, Caragh Skipper,
Stephen Mann, Pat Clouder, Andrew Pelling, Michael Neal,
Richard Chatterjee, Ola Kolade and Jade Appleton

A meeting of the **Planning Committee** which you are hereby summoned to attend, will be held on **Wednesday, 16 March 2022** at the rise of Planning Sub-Committee but not earlier than **6.00 pm** in **Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX**

KATHERINE KERSWELL
Chief Executive and Head of Paid Service
London Borough of Croydon
Bernard Weatherill House
8 Mint Walk, Croydon CR0 1EA

Tariq Aniemeka-Bailey
020 8726 6000 x64109
tariq.aniemeka-bailey@croydon.gov.uk
www.croydon.gov.uk/meetings
Tuesday, 8 March 2022

Members of the public are welcome to attend this meeting, or you can view the webcast both live and after the meeting has completed at <http://webcasting.croydon.gov.uk>

If you would like to record the meeting, we ask that you read the guidance on the recording of public meetings [here](#) before attending

To register a request to speak, please either e-mail Democratic.Services@croydon.gov.uk or phone the number above by 4pm on the Monday before the meeting.

The agenda papers for all Council meetings are available on the Council website www.croydon.gov.uk/meetings

If you require any assistance, please contact Tariq Aniemeka-Bailey
020 8726 6000 x64109 as detailed above.

AGENDA – PART A

1. Apologies for absence

To receive any apologies for absence from any members of the Committee.

2. Minutes of Previous Meeting (Pages 7 - 14)

To approve the minutes of the meeting held on Thursday, 27 January 2022 and Thursday, 10 February 2022 as an accurate record.

3. Disclosure of Interest

In accordance with the Council's Code of Conduct and the statutory provisions of the Localism Act, Members and co-opted Members of the Council are reminded that it is a requirement to register disclosable pecuniary interests (DPIs) and gifts and hospitality to the value of which exceeds £50 or multiple gifts and/or instances of hospitality with a cumulative value of £50 or more when received from a single donor within a rolling twelve month period. In addition, Members and co-opted Members are reminded that unless their disclosable pecuniary interest is registered on the register of interests or is the subject of a pending notification to the Monitoring Officer, they are required to disclose those disclosable pecuniary interests at the meeting. This should be done by completing the Disclosure of Interest form and handing it to the Democratic Services representative at the start of the meeting. The Chair will then invite Members to make their disclosure orally at the commencement of Agenda item 3. Completed disclosure forms will be provided to the Monitoring Officer for inclusion on the Register of Members' Interests.

4. Urgent Business (if any)

To receive notice of any business not on the agenda which in the opinion of the Chair, by reason of special circumstances, be considered as a matter of urgency.

5. Development presentations (Pages 15 - 16)

To receive the following presentations on a proposed development:

There are none.

6. Planning applications for decision (Pages 17 - 20)

To consider the accompanying reports by the Director of Planning & Strategic Transport:

6.1 20/06319/FUL - 1 Smitham Bottom Lane, Purley, CR8 3DE
(Pages 21 - 48)

Demolition of existing two storey detached dwelling; construction of part three, four, and five storey building comprising a mix of 16 no. one, two and three bedroom flats; associated parking and hard and soft landscaping.

Ward: Purley and Woodcote
Recommendation: Grant permission

6.2 21/04742/FUL - 2 Shaw Crescent, South Croydon, CR2 9JA
(Pages 49 - 70)

Demolition of single-family dwellinghouse and erection of 4x 3-storey semi-detached dwellinghouses and a terrace of 3x 2-storey dwellinghouses containing total of 7x 3-bedroom units.

Ward: Sanderstead
Recommendation: Grant permission

6.3 21/04358/FUL - 98 Higher Drive, Purley CR8 2HL (Pages 71 - 92)

Demolition of existing house and erection of a 3-4 storey block comprising 9 flats with 9 car parking spaces and associated landscaping.

Ward: Kenley
Recommendation: Grant permission

6.4 21/03703/FUL - 18 Rectory Park, South Croydon CR2 9JN
(Pages 93 - 116)

Demolition of existing property and construction of a block of 5 flats plus 3 houses with associated access, car parking and landscaping (amended description).

Ward: Sanderstead
Recommendation: Grant permission

7. Items referred by Planning Sub-Committee

To consider any item(s) referred by a previous meeting of the Planning Sub-Committee to this Committee for consideration and determination:

There are none.

8. Other planning matters (Pages 117 - 118)

To consider the accompanying report by the Director of Planning & Strategic Transport:

There are none.

8.1 Weekly Planning Decisions (Pages 119 - 166)

Attached is a list of Delegated and Planning Committee/Sub Committee decisions taken between 14 February 2022 and 25 February 2022.

9. Exclusion of the Press & Public

The following motion is to be moved and seconded where it is proposed to exclude the press and public from the remainder of a meeting:

"That, under Section 100A(4) of the Local Government Act, 1972, the press and public be excluded from the meeting for the following items of business on the grounds that it involves the likely disclosure of exempt information falling within those paragraphs indicated in Part 1 of Schedule 12A of the Local Government Act 1972, as amended."

This page is intentionally left blank

Planning Committee

Meeting of held on Thursday, 27 January 2022 at 6.00 pm in Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX

MINUTES

Present: Councillor Chris Clark (Chair);
Councillor Leila Ben-Hassel (Vice-Chair);
Councillors Joy Prince, Clive Fraser, Humayun Kabir, Jamie Audsley, Gareth Streeter, Scott Roche, Ian Parker and Lynne Hale

Also

Present: Councillors Margaret Bird, Luke Clancy, Sean Fitzsimons

PART A

11/22 **Minutes of Previous Meeting**

RESOLVED that the minutes of the meeting held on Thursday 13 January 2022 be signed as a correct record.

12/22 **Disclosure of Interest**

There were no disclosures of a pecuniary interest not already registered.

13/22 **Urgent Business (if any)**

There were none.

14/22 **Development presentations**

There were none.

15/22 **Planning applications for decision**

16/22 **6.1 21/01274/FUL - 100 Reddown Road Coulsdon CR5 1AL**

Demolition of the existing dwelling and redevelopment of the site to provide 9 flats in a new 3/4 storey building including living accommodation in the roof space with associated car parking, landscaping and cycle storage. Public Document Pack

Ward: Coulsdon Town

The officer presented details of the planning application and responded to questions for clarification.

Ms Maureen Levy spoke against the application.

The Ward Member Councillor Luke Clancy addressed the committee with his view on the application.

The Committee deliberated on the application before them having heard all the speakers who addressed the Committee, and in turn addressed their views on the matters.

The motion to approve the application was proposed by Councillor Kabir. This was seconded by Councillor Clark.

The motion to approve was taken to a vote and fell with four Members voting in favour and five Members voting against and one Member abstained their vote.

The substantive motion to **GRANT** the application based on the officer's recommendation was not supported.

Councillors felt that the application was out of character with area, too big and parking issues were grounds for refusal.

The motion to refuse the application based on parking issues and the proposed buildings being out of character with the area was proposed by Councillor Parker. This was seconded by Councillor Hale.

The motion to refuse the application was taken to a vote and fell with five Members voting in favour and five Members voting against, the Chair used his casting vote to reject the motion.

The motion to refuse the application based solely on the proposed buildings being out of character within the area was proposed by Councillor Hale. This was seconded by Councillor Ben-Hessel.

The motion to refuse was taken to a vote and carried with six Members voting in favour and three Members voting against and one Member abstained their vote.

The Committee **RESOLVED** to **REFUSE** the application for the development at 100 Reddown Road Coulsdon CR5 1AL.

17/22 **6.2 21/02912/FUL - Citylink House, 4 Addiscombe Road, Croydon, CR0 5TT**

Demolition of existing building and redevelopment of the site to provide a part 14 storey and part 28 storey building with basement, comprising 498 co-living units and associated communal amenity spaces (Use Class Sui Generis), 84 residential units (Use Class C3), commercial space (Use Class E) and flexible commercial and community space (limited uses within Use Class E/F1/F2) at ground/mezzanine level, together with roof terraces and balconies, wheelchair accessible parking spaces, refuse and cycle storage and associated landscaping and public realm works including removal of subways. Works include stopping up of section of highway on Altyre Road and subway to No.1 Croydon, 12-16 Addiscombe Road under Section 247 of the Town and Country Planning Act 1990 (as amended).

Ward: Addiscombe West

The officer presented details of the planning application and responded to questions for clarification.

Ms Chetan Pugalia & Ms Sreelakshmi Sainath spoke against the application.

Mr Sam Hine, the applicant, spoke in support of the application.

The Ward Member Councillor Sean Fitzsimons addressed the committee with his view on the application.

The Committee deliberated on the application before them having heard all the speakers who addressed the Committee, and in turn addressed their views on the matters.

The substantive motion to **GRANT** the application based on the officer's recommendation was proposed by Councillor Kabir. This was seconded by Councillor Clarke.

The motion to approve the application was taken to a vote and fell with four Members voting in favour and six Members voting against.

The motion to refuse the application based on overdevelopment and poor quality massing in relation to the NLA tower was proposed by Councillor Audsley. This was seconded by Cllr Fraser, who then went on to raise further matters in relation to mix and affordable housing.

Further to clarification from officers, Councillor Audsley stated that the move to refuse was on the basis of the height and mass causing harm to the NLA tower.

The motion to refuse the application was taken to a vote and carried with seven Members voting in favour, zero Members voting against and three members abstained their vote.

The Committee **RESOLVED** to **REFUSE** the application for the development at Citylink House, 4 Addiscombe Road, Croydon, CR0 5TT.

There was discussion about the reasons after vote, but the committee were advised that as the vote had already been taken, the committee could not reconsider their decision.

18/22 **6.3 21/02020/FUL - Bradmore Way, Coulsdon, CR5 1PB**

Demolition of existing dwelling and garage and erection of a 2-3 storey building (including lower ground floor), comprising 7 dwellings, together with car parking, cycle parking, refuse storage and associated landscaping.

Ward: Old Coulsdon

The officer presented details of the planning application and responded to questions for clarification.

Mr Ian Payne spoke against the application.

Mr Joe Garner, the applicant, spoke in support of the application.

The Ward Member Councillor Margaret Bird addressed the committee with her view on the application.

The Committee deliberated on the application before them having heard all the speakers who addressed the Committee, and in turn addressed their views on the matters.

Councillor Fraser made a declaration of interest and stated that he had worked with Ian Payne in the past and therefore removed himself from the debate and voting. Councillor Prince also declared that she knew Ian Payne but did not remove herself from the debate and voting.

The substantive motion to **GRANT** the application based on the officer's recommendation was proposed by Councillor Ben-Hessel. This was seconded by Councillor Prince.

The motion to approve was taken to a vote with five Members voting in favour and four Members voting against. The Chair used his casting vote and voted in favour.

The Committee **RESOLVED** to **GRANT** the application for the development at Bradmore Way, Coulsdon, CR5 1PB.

19/22 Items referred by Planning Sub-Committee

There were none.

20/22 Other planning matters

There were none.

Weekly Planning Decisions

There were none.

The meeting ended at 10.00 pm

Signed:

Date:

Planning Committee

Meeting of held on Thursday, 10 February 2022 at 6.00 pm in Council Chamber, Town Hall,

Katharine Street, Croydon CR0 1NX

MINUTES

Present: Councillor Chris Clarke (Chair)

Councillors Joy Prince, Clive Fraser, Humayun Kabir, Jamie Audsley, Caragh Skipper, Richard Chatterjee, Gareth Streeter, Scott Roche and Ian Parker

Also Present: Councillors Stephen Mann, Mario Creatura

Apologies: Councillors Leila Ben-Hassel and Lynne Hale

PART A

Minutes of Previous Meeting

RESOLVED to **DEFER** the approval of the minutes of the meeting held on Thursday 27 January subject to the inclusion of more detail of the deliberation prior to the decision being made.

Councillor Fraser noted that the minutes did not include enough detail in regards to the grounds for refusal of the Citylink House application and asked if amendments could be made before minutes were brought back to the next meeting.

Disclosure of Interest

There were no disclosures of a pecuniary interest not already registered.

Urgent Business (if any)

There was none.

Development presentations

There were none.

Planning applications for decision

6.1 20/06661/FUL - 27A-29 The Grove, Coulsdon, CR5 2BH

Demolition of existing 2 x dwellings and construction of 9 x new dwellings with associated parking and landscaping.

Ward: Coulsdon Town

The officer presented details of the planning application and responded to questions for clarification.

Mr Richard Walker spoke against the application.

Ms Donna Walker spoke in support of the application.

The Committee deliberated on the application presentation heard before them having heard all the speakers who addressed the Committee, and in turn addressed their view on the matter.

The substantive motion to **GRANT** the application based on the officer's recommendation was proposed by Councillor Kabir. This was seconded by Councillor Fraser.

The motion to grant the application was taken to a vote and carried with five Members voting in favour and four Members voting against.

The Committee **RESOLVED** to **GRANT** the application for the development at 27A-29 The Grove, Coulsdon, CR5 2BH.

Councillor Joy Prince (having already given apologies for lateness) attended the meeting during the presentation of the planning application at 6.47pm. In accordance with the Council's constitution, Councillor Prince took no part in this item as she was not present at the start of the presentation.

21/01297/FUL - Land R/O 58 - 60 Westow Hill and Land Rear Of 62 Westow Hill

Demolition of existing rear ancillary storage building to former Plumbase store, erection of a three storey building comprising 1 three bedroom flat and 4 one bedroom flats, provision of associated amenity space, refuse storage and cycle storage.

Ward: Crystal Palace and Upper Norwood

The officer presented details of the planning application and responded to questions for clarification.

Ms Claire Yorkston spoke against the application.

Mr. Anthony Thomas spoke in support of the application.

The Ward Member Councillor Stephen Mann addressed the committee with his view on the application.

The Committee deliberated on the application presentation heard before them having heard all the speakers who addressed the Committee, and in turn addressed their view on the matter.

The substantive motion to **GRANT** the application based on the officer's recommendation was not supported.

Councillor Roche proposed the motion to refuse the application due to the height, amenity for future occupiers in terms of space standards, distance from neighbouring properties and the impact on neighbours. This was seconded by Councillor Skipper.

The motion to refuse the application was taken to a vote and carried with 10 Members voting in favour and no Members voting against.

The Committee **RESOLVED** to **REFUSE** the application for the development at Land R/O 58 - 60 Westow Hill and Land Rear of 62 Westow Hill.

6.3 21/03703/FUL - 18 Rectory Park, South Croydon CR2 9JN

This item was withdrawn from the agenda.

6.4 21/05084/FUL - 29 Hollymeoak Road, Coulsdon, CR5 3QA

Demolition of existing dwelling. Erection of a two-storey building with roof accommodation comprising 6 flats; provision of new access, parking spaces, refuse and recycling stores, secure cycle parking and communal landscaped amenity space.

Ward: Coulsdon

The officers presented details of the planning application and responded to questions for clarification.

David Higham spoke against the application.

Simon Grainger spoke in support of the application.

The Ward Member Councillor Creatura addressed the committee with his view on the application.

The Committee deliberated on the application presentation heard before them having heard all the speakers who addressed the Committee, and in turn addressed their view on the matter.

The substantive motion to **GRANT** the application based on the officer's recommendation was proposed by Councillor Kabir. This was seconded by Councillor Skipper.

The motion to grant was taken to a vote and fell with four Members voting in favour and six Members voting against.

The motion to refuse was proposed by Councillor Chatterjee on the basis that the proposed development was out of keeping with the character of the area due to its mass and scale. This was seconded by Councillor Fraser.

The motion to refuse the application was taken to a vote and carried with six Members voting in favour and four Members voting against.

The Committee **RESOLVED** to **REFUSE** the application for the development at 29 Hollymeoak Road, Coulsdon, CR5 3QA.

Items referred by Planning Sub-Committee

There were none.

Other planning matters

Weekly Planning Decisions

The report was received for information.

The meeting ended at 8.47pm

This page is intentionally left blank

PLANNING COMMITTEE AGENDA

PART 5: Development Presentations

1 INTRODUCTION

- 1.1 This part of the agenda is for the committee to receive presentations on proposed developments, including when they are at the pre-application stage.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 ADVICE TO MEMBERS

- 2.1 These proposed developments are being reported to committee to enable members of the committee to view them at an early stage and to comment upon them. They do not constitute applications for planning permission at this stage and any comments made are provisional and subject to full consideration of any subsequent application and the comments received as a result of consultation, publicity and notification.
- 2.2 Members will need to pay careful attention to the probity rules around predisposition, predetermination and bias (set out in the Planning Code of Good Practice Part 5.G of the Council's Constitution). Failure to do so may mean that the Councillor will need to withdraw from the meeting for any subsequent application when it is considered.

3 FURTHER INFORMATION

- 3.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

4 PUBLIC SPEAKING

- 4.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

5 BACKGROUND DOCUMENTS

- 5.1 For further information about the background papers used in the drafting of the reports in part 8 contact Mr P Mills (020 8760 5419).

6 RECOMMENDATION

- 6.1 The Committee is not required to make any decisions with respect to the reports on this part of the agenda. The attached reports are presented as background information.

This page is intentionally left blank

PLANNING COMMITTEE AGENDA

PART 6: Planning Applications for Decision

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning applications for determination by the Planning Committee.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 Any item that is on the agenda because it has been referred by a Ward Member, GLA Member, MP or Resident Association and none of the person(s)/organisation(s) or their representative(s) have registered their attendance at the Town Hall in accordance with the Council's Constitution (paragraph 3.8 of Part 4K – Planning and Planning Sub-Committee Procedure Rules) the item will be reverted to the Director of Planning and Strategic Transport to deal with under delegated powers and not be considered by the committee.
- 1.4 The following information and advice applies to all reports in this part of the agenda.

2 MATERIAL PLANNING CONSIDERATIONS

- 2.1 The Committee is required to consider planning applications against the development plan and other material planning considerations.
- 2.2 The development plan is:
 - the London Plan (consolidated with Alterations since 2011)
 - the Croydon Local Plan (February 2018)
 - the South London Waste Plan (March 2012)
- 2.3 Decisions must be taken in accordance with section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004. Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the Development Plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the number of third party representations received, remains the extent to which planning proposals comply with the Development Plan.
- 2.4 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects listed buildings or their settings, the local planning authority must have special regard to the desirability of preserving the building or its setting or any features of architectural or historic interest it possesses.

- 2.5 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects a conservation area, the local planning authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 2.6 Under Section 197 of the Town and Country Planning Act 1990, in considering whether to grant planning permission for any development, the local planning authority must ensure, whenever it is appropriate, that adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.
- 2.7 In accordance with Article 31 of the Development Management Procedure Order 2010, Members are invited to agree the recommendations set out in the reports, which have been made on the basis of the analysis of the scheme set out in each report. This analysis has been undertaken on the balance of the policies and any other material considerations set out in the individual reports.
- 2.8 Members are reminded that other areas of legislation covers many aspects of the development process and therefore do not need to be considered as part of determining a planning application. The most common examples are:
- **Building Regulations** deal with structural integrity of buildings, the physical performance of buildings in terms of their consumption of energy, means of escape in case of fire, access to buildings by the Fire Brigade to fight fires etc.
 - Works within the highway are controlled by **Highways Legislation**.
 - **Environmental Health** covers a range of issues including public nuisance, food safety, licensing, pollution control etc.
 - Works on or close to the boundary are covered by the **Party Wall Act**.
 - **Covenants and private rights** over land are enforced separately from planning and should not be taken into account.

3 **ROLE OF THE COMMITTEE MEMBERS**

- 3.1 The role of Members of the Planning Committee is to make planning decisions on applications presented to the Committee openly, impartially, with sound judgement and for sound planning reasons. In doing so Members should have familiarised themselves with Part 5D of the Council's Constitution 'The Planning Code of Good Practice'. Members should also seek to attend relevant training and briefing sessions organised from time to time for Members.
- 3.2 Members are to exercise their responsibilities with regard to the interests of the London Borough of Croydon as a whole rather than with regard to their particular Ward's interest and issues.

4. **THE ROLE OF THE CHAIR**

- 4.1 The Chair of the Planning Committee is responsible for the good and orderly running of Planning Committee meetings. The Chair aims to ensure, with the assistance of officers where necessary, that the meeting is run in accordance with the provisions set out in the Council's Constitution and particularly Part 4K of the Constitution 'Planning and Planning Sub-Committee Procedure Rules'. The Chair's most visible responsibility is to ensure that the business of the meeting is conducted effectively and efficiently.
- 4.2 The Chair has discretion in the interests of natural justice to vary the public speaking rules where there is good reason to do so and such reasons will be minuted.

- 4.3 The Chair is also charged with ensuring that the general rules of debate are adhered to (e.g. Members should not speak over each other) and that the debate remains centred on relevant planning considerations.
- 4.4 Notwithstanding the fact that the Chair of the Committee has the above responsibilities, it should be noted that the Chair is a full member of the Committee who is able to take part in debates and vote on items in the same way as any other Member of the Committee. This includes the ability to propose or second motions. It also means that the Chair is entitled to express their views in relation to the applications before the Committee in the same way that other Members of the Committee are so entitled and subject to the same rules set out in the Council's constitution and particularly Planning Code of Good Practice.

5. PROVISION OF INFRASTRUCTURE

- 5.1 In accordance with Policy 8.3 of the London Plan (2011) the Mayor of London has introduced a London wide Community Infrastructure Levy (CIL) to fund Crossrail. Similarly, Croydon CIL is now payable. These would be paid on the commencement of the development. Croydon CIL provides an income stream to the Council to fund the provision of the following types of infrastructure:
- i. Education facilities
 - ii. Health care facilities
 - iii. Projects listed in the Connected Croydon Delivery Programme
 - iv. Public open space
 - v. Public sports and leisure
 - vi. Community facilities
- 5.2 Other forms of necessary infrastructure (as defined in the CIL Regulations) and any mitigation of the development that is necessary will be secured through A S106 agreement. Where these are necessary, it will be explained and specified in the agenda reports.

6. FURTHER INFORMATION

- 6.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

7. PUBLIC SPEAKING

- 7.1 The Council's constitution allows for public speaking on these items in accordance with the rules set out in the constitution and the Chair's discretion.

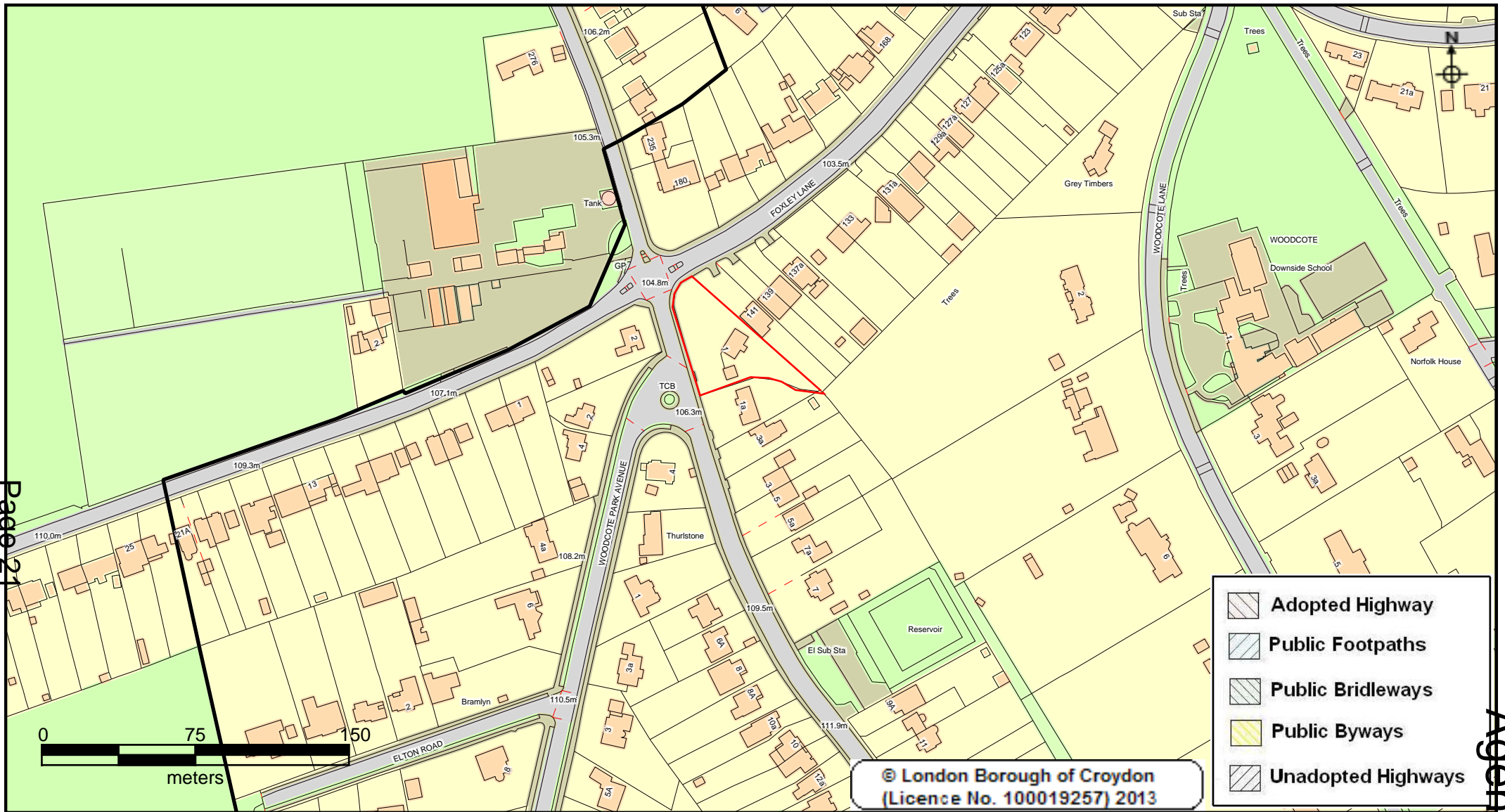
8. BACKGROUND DOCUMENTS

- 8.1 The background papers used in the drafting of the reports in part 6 are generally the planning application file containing the application documents and correspondence associated with the application. Contact Mr P Mills (020 8760 5419) for further information. The submitted planning application documents (but not representations and consultation responses) can be viewed online from the Public Access Planning Register on the Council website at <http://publicaccess.croydon.gov.uk/online-applications>. Click on the link or copy it into an internet browser and go to the page, then enter the planning application number in the search box to access the application.

9. RECOMMENDATION

- 9.1 The Committee to take any decisions recommended in the attached reports.

This page is intentionally left blank



This page is intentionally left blank

PART 6: Planning Applications for Decision

Item 6.1

1.0 SUMMARY OF APPLICATION DETAILS

Ref: 20/06319/FUL
 Location: 1 Smitham Bottom Lane, Purley, CR8 3DE
 Ward: Purley and Woodcote
 Description: Demolition of existing two storey detached dwelling; construction of part three, four, and five storey building comprising a mix of 16 no. one, two and three bedroom flats; associated parking and hard and soft landscaping.
 Drawing Nos: 0100 Rev 1, 0101 Rev 1, 0102 Rev 4, 0103 Rev 1, 0201 Rev 1, 0202 Rev 1, 0251 Rev 6, 0252 Rev 5, 0253 Rev 5, 0254 Rev 5, 0255 Rev 05, 0256 Rev 3, 0400 Rev 01, 0450 Rev 03, 0451 Rev 02, 0452 Rev 03. 0453 Rev 03.
 Applicant: Mr Matthew Flack, MAC Developments (Cheam) Ltd.
 Agent: Mr Oliver Bray, OB Architecture.
 Case Officer: Barry Valentine

	Market Housing	London Affordable Rent (LAR)	Intermediate Shared Ownership (SO)	TOTAL
Studio	1	0	0	1
One-bed	0	0	0	0
Two-bed	2	1	0	3
Three bed	10	1	1	12
TOTAL	13	2	1	16

Number of car parking spaces	Number of cycle parking spaces
16 on site car parking spaces	36 on site cycle parking spaces

1.1 This application is being reported to Planning Committee because objections above the threshold in the Committee Consideration Criteria have been received, and following on from Ward Councillor representation and referral request (Cllr Quadir) in accordance with the Committee Consideration Criteria.

2.0 RECOMMENDATION

2.1 That the Planning Committee resolve to GRANT planning permission subject to:

A. The prior completion of the legal agreement to secure the following planning obligations:

1. 19% Affordable Housing (by habitable room) with 63% at LAR and 37% SO, including early and late stage review
2. Local Employment and Training Strategy and Contribution – Construction Phase Contribution of £6,750

3. Carbon offset financial contribution (£26,790)
4. Air quality contribution (£1,600)
5. Highway works - resurfacing of highway, alterations/realignment of crossover, road drainage alterations.
6. Sustainable travel contribution (£24,000)
7. Retention of scheme architects
8. Monitoring fees
9. Any other planning obligation(s) considered necessary by the Director of Planning and Sustainable Regeneration.

2.2 That the Director of Planning and Sustainable Regeneration has delegated authority to negotiate the legal agreement indicated above.

2.3 That the Director of Planning and Sustainable Regeneration has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

1. In accordance with the approved plans.
2. Development to be implemented within three years.

Pre-commencement

3. Construction Logistics Plan
4. Ecological Mitigation and Enhancement Scheme

Pre-commencement (save for demolition)

5. Sustainable Urban Drainage System
6. Land Contamination – Site Investigation and Remediation
7. Fire Strategy

Prior to above ground works

8. Samples and details (as appropriate) of materials including window frames and balustrades. Brick sample panel.
9. Detailed design drawings
10. Secure landscaping proposals including replacement trees, with additional details secured via condition on biodiversity mitigation measures, boundary treatments, child play space and communal areas. Secure minimum Urban Greening Factor of 0.5
11. Secure by Design

Prior to occupation

12. Secure Lighting Plan

Compliance

13. Provision of on-site car parking – prior to occupation and permanently retained thereafter. Electric vehicles charging point at 20% car parking spaces fitted with active provision, 80% car parking space with passive provision
14. Cycle Parking – Implementation

15. Secure Energy Assessment
16. Secure Air Quality Assessment
17. Secure Noise Report
18. Secure transport assessment, including travel cards and car club incentives
19. Refuse to be built and completed prior to occupation
20. Secure Arboricultural Method Statement
21. Secure Flood Risk Assessment
22. Noise from any plant and machinery
23. 90% of units to meet M4 (2) accessibility standard
24. 10% of units to meet M4 (3) accessibility standard
25. Water use target
26. Upper floor windows obscurely glazed and non-opening up to 1.7m from finished floor level
27. Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration.

Informatives

1. Community Infrastructure Levy.
 2. Subject to legal agreement
 3. Thames Water Advice
 4. Pollution and Noise from Demolition and Construction Sites Guidance.
 5. Waste Informative
 6. Refuse Informative
 7. Removal of site notices
 8. Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration.
- 2.4 That the Committee confirms that it has paid special attention to the desirability of preserving or enhancing the character and appearance of the Webb Estate and Upper Woodcote Village Conservation Area as required by Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 2.5 That the Planning Committee confirms that adequate provision has been made, by the imposition of conditions, for the preservation or planting of trees as required by Section 197 of the Town and Country Planning Act 1990.
- 2.6 That, if within 4 months of the planning committee meeting date, the legal agreement has not been completed, the Director of Planning and Sustainable Regeneration has delegated authority to refuse planning permission.

3.0 PROPOSAL AND LOCATION DETAILS

Proposal

- 3.1 Planning permission is sought for demolition of existing two storey detached dwelling and detached double garage; construction of part three, four, and five storey building comprising a mix of 16 no. one, two and three bedroom flats; associated parking and hard and soft landscaping.



Fig A – CGI of Proposed Scheme

- 3.2 There have been three broad phases of revisions to the application during the course of determination. The first phase of revisions were submitted in March 2021. In summary the main changes were as follows:
- Reduction in the number of homes provided from 17 to 16.
 - Increase in the number of three beds being provided from 9 to 12.
 - Design development including introduction of banding to break up façade, and alterations roof level appearance.
 - More detailed landscaping proposals.
- 3.3 The second phase of revisions were received in May 2021. In summary the main changes were as follows:
- Further design development making minor changes to design and to improve home quality.
 - Documents to ensure compliance with London Plan (2021) that was adopted post submission including Fire Strategy Report, Energy and Sustainability Statement amendments, Urban Greening Factor Calculations.
 - Revisions to SUDS strategy to address LLFA concerns.
 - Supplementary Transport Information including to visibility splays, swept path analysis and bulky goods area.
 - Updated viability appraisal to account for change in unit numbers.
- 3.4 The third phase of revisions have been received since October 2021. In summary the main changes have been as follows:
- Clarification on bedroom sizes and lift overrun.
 - Revisions to Fire Strategy to ensure compliance to London Plan (2021) policy.
 - Further revision to SUDS strategy to address LLFA concerns.
 - Improvements to landscaping to improve Urban Greening Factor Score.
- 3.5 Throughout these revision there has been no significant changes to the overall bulk, mass, form or overall design approach. The changes that have been made are on the whole technical and have sought to address consultees and objectors concerns where relevant. These changes in the view of officers did not require formal re-consultation on the application.

Site and Surroundings

- 3.6 The application site is a two storey detached property with separate double garage located on Smitham Bottom Lane at the junction with both Foxley Lane to the northeast, and Woodcote Park Avenue to the west. There is a small land level change across the site with the site sloping from east down to the west.
- 3.7 The site has a Public Transport Accessibility Level (PTAL) of 1b. The site and/or its immediate surrounding area are at low risk (between 1 in 100 and 1 in 1000 year risk) from surface water flooding. The site is located within Flood Zone 1, as defined by the Environmental Agency.



Fig B – Birds Eye View of the Site with site roughly outlined in red

- 3.8 The site is not within a conservation area and there are no heritage assets on the site. The Webb Estate and Upper Woodcote Village Conservation Area is immediately adjacent to the south eastern boundary of the site.

Relevant Planning History

- 3.9 The council provided pre-application advice under references (19/01751/PRE, 19/04468/PRE and 20/01584/PRE) in connection with this site.
- 3.10 Planning permission reference 84/00429/P was granted on the 04/05/1984 for the 'Erection of detached house with integral garage.'
- 3.11 Planning permission reference 86/00576/P was granted on the 04/07/1986 for the 'Erection of two, five bedroom houses with double garages and formation of vehicular access.'

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- 4.1 The provision of 16 residential units would make a contribution to housing delivery in a well-connected location. 75% of these units would be 3 bed or larger, and would positively contribute to family housing provision.
- 4.2 The proposed development would provide 19% affordable housing by habitable room, which amounts to 3 units, at a 63 to 37 split between London affordable rented homes and intermediate homes. This offer has been independently scrutinised and is the maximum reasonable affordable housing policy compliant provision.
- 4.3 The scale of the development is an appropriate response to the site's location and neighbouring properties, with a high quality design and detailing, with further details on materials recommended to be secured via condition. A high quality landscaping scheme is proposed.
- 4.4 The proposed development would not have an unacceptable impact on neighbouring properties' living conditions.
- 4.5 The standard of residential accommodation would be acceptable, as all units would meet the Nationally Described Space Standards (NDSS), would have sufficient private amenity space and access to sufficient communal amenity and child play space. All units would have an acceptable level of access to light and outlook.
- 4.6 The proposed development provides appropriate level of car parking on site, and would not cause significant parking stress on surrounding streets. The proposed development promotes sustainable modes of transport including cycle parking provision and car club incentives.
- 4.7 Suitable planning obligations and conditions have been recommended in order to ensure that the proposed development does not have an adverse impact upon either air quality or the risk of flooding.

5.0 LOCAL REPRESENTATION

- 5.1 A total of 10 neighbouring properties were notified about the application and invited to comment by the way of letter, three site notices were erected and a notice published in the press. The number of representations received from neighbours, local groups etc. in response to notification and publicity of the application were as follows:

Individual responses: 155, Objections: 155, Support: 0

- 5.2 The following issues were raised in representations that are material to the determination of the application, which are addressed in substance in the next section of this report

Summary of Objectors Concerns	Officer's Response
Overdevelopment, that unacceptably harms the character and appearance of the street scene and blight wider views	The proposed development represents a high quality contemporary contextual design that responds appropriately to the site and its restraints. The proposed development would not cause harm to the appearance of the site, street or wider area, and does not represent overdevelopment of the site.
Loss of family homes	The proposed development would significantly increase the number of three bed homes. These homes by virtue of their size, layout and design meet the definition of 'family housing' within the London Plan (2021).
Impact on green appearance and biodiversity	The proposed development has a high quality landscape design that would achieve an appropriate contextually sensitive green appearance, and which comfortably exceeds the Urban Greening Factor standard set out in the London Plan (2021). Conditions are recommended to ensure that the development takes appropriate steps to achieve a net gain in biodiversity.
Loss of privacy from windows and balcony	The proposed balconies would not cause direct overlooking of neighbouring properties. Windows within the development largely do not look directly into neighbouring windows. Conditions are recommended to prevent window located on the side elevation to be obscurely glazed and non-opening up to height of 1.7m to ensure appropriate neighbourly relationships.
Overshadowing and loss of sunlight	The proposed development with its appropriate front and rear building lines, would not cause unacceptable loss of light to neighbouring properties or their garden areas.
Noise from intensification of use	Given that the proposed homes would be in residential use, they would not generate significant levels of noise disturbance such to justify refusal of planning permission.
The site is not identified for intensification within the Local Plan	The site is not allocated, nor is it located in an area of focused intensification. However, the current Local Plan does not preclude appropriate development outside of these areas, as long as they comply with the development plan as a whole. The proposed development would make a contribution to the council achieving its housing target, including the provision of much needed affordable housing. The proposed development as set out in the report complies with the development plan as a whole.
The development fails to provide good quality of accommodation	The proposed homes are very high quality, meeting floor space standards, appropriate floor to ceiling heights, private amenity space, dual aspect with key habitable rooms likely to receive good levels of light and aspect.
Not enough parking	The proposed development at ratio of 1 parking space per home strikes the appropriate balance between providing parking and the promotion of sustainable modes of transport. In any event there is significant

	capacity on surrounding streets to accommodate any additional parking demand.
Highway safety from accessing the driveway especially given access is onto roundabout	The proposed development has appropriate and safe visibility splays that will allow safe access and exiting from the development.
Impact on traffic generation on already busy road	The proposed development would not generate significant levels of traffic to justify refusal of planning permission.
Impact on pollution, including air quality	The applicant has submitted an air quality assessment. The proposed heating and hot water strategy would ensure that the building does generate any emissions. The impact from vehicular emissions would be negligible. The statement outlines how development would be constructed in an appropriate way such that any impact on air quality would not be significant.
Impact on trees	The proposed development would not result in the loss of any trees of visual amenity value. Six new trees would be planted to the front of the property.
Lack of affordable housing provision	The proposed development provide 3 affordable homes. The applicant's affordable housing offer has been independently tested, and found to be the maximum reasonable.
Impact on local services	The proposed development would be liable to CIL which will help ensure that the proposed development mitigates its impact on local services.
Impact on flooding	The application has been submitted with a detailed flood risk assessment and surface water drainage strategy. The proposed development would utilise appropriately sized soakaways that would ensure that the development does not have an adverse impact on flooding. The way that surface water is handled in the application would be an improvement over the existing situation.
Flats not appropriate due to COVID	There is no substantive evidence to support this claim.
Impacts during construction	Conditions are recommended where appropriate and reasonable, to ensure that the development's impact during the construction phase is appropriately mitigated.

5.3 The following comments were made in objections received, which are non - material to the determination of the application:

Only for profit	This is not material planning consideration, with exception of it being an input within a viability appraisal, where for the purposes of viability the applicant's profit level of 17.5% on market housing and 6% on affordable is considered reasonable.
Impact on house prices	This is not a material planning consideration
Development would be breach of existing covenant	This is not a material planning consideration and separate legal matter. It is understood that this has been raised with the developer directly by the objector.

5.4 The following Councillor made representations:

Councillor Badsha Quadir (objection)

1. This proposed development results in a loss of a family home.
2. This proposed development is an overdevelopment in the area along with inadequate amenity facilities for future occupiers.
3. The proposed building is out of character within the local area.
4. The development is overbearing and detrimental to the local neighbors through loss of privacy, noise and visual intrusion due to height of the buildings.
5. For the size of the development there is not enough car parking space for the tenants. They would also be coming onto a very busy roundabout which will cause a health and safety issue amongst pedestrians and vehicles.

Officer's response – The comments are similar to objectors, and have been addressed in the tables above and further covered in the report below.

6.0 CONSULTATION RESPONSE

- 6.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

Lead Local Flood Authority (LLFA) (Statutory Consultee)

- 6.2 No objection subject to conditions. The submitted strategy demonstrates that a suitable drainage strategy can be delivered on site, however some further details are required to support the final design of the proposed strategy (Officer comment: conditions are recommended).

London Borough of Sutton

- 6.3 No response

Thames Water

- 6.4 No objection but have provided comments which have been forwarded onto the developer.

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

- 7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan and any other material considerations. Details of the relevant policies and guidance notes are attached in Appendix 1.

National Guidance

- 7.2 The National Planning Policy Framework 2021 (NPPF) and online Planning Practice Guidance (PPG), as well as the National Design Guide (2019) are material considerations which set out the Government's priorities for planning and a presumption in favour of sustainable development.

- 7.3 The following NPPF key issues are in particular relevant to this case:

- Delivering a sufficient supply of homes
- Ensuring the vitality of town centres
- Promoting healthy and safe communities
- Promoting sustainable transport
- Making effective use of land
- Achieving well-designed places
- Meeting the challenge of climate change, flooding and coastal change

Development Plan

- 7.4 The Development Plan comprises the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2012).
- 7.5 The relevant Development Plan policies are in Appendix 1.

Supplementary Planning Document

- 7.6 The relevant SPGs and/or SPDs are listed in Appendix 1.

8.0 MATERIAL PLANNING CONSIDERATIONS

- 8.1 The main planning issues raised by the application that the Planning Committee are required to consider are:
1. Principle of development, affordable housing and quality of residential homes.
 2. Impact on the appearance of the site and surrounding area.
 3. Neighbouring properties' living conditions.
 4. Impact on parking and the highway conditions.
 5. Trees and landscaping.
 6. Flooding.
 7. Other planning issues.

Principle of development, affordable housing and quality of residential homes.

Principle of Development

- 8.2 The London Plan (2021) sets a minimum ten year target for the borough of 20,790 new homes over the period of 2019-2029. The Croydon Local Plan (2018) sets a minimum twenty year target of 32,890 new homes over the period of 2016 to 2036, with 10,060 homes being delivered across the borough on windfall sites. The proposed development would create additional housing on a windfall site that would make a contribution to the borough achieving its housing targets as set out in the London Plan (2021) and Croydon Local Plan (2018).
- 8.3 Policy SP2.7 sets a strategic target of 30% of all new homes up to 2036 to have three beds or more. Policy DM1 of the Croydon Local Plan (2018) requires major developments in a suburban setting with a PTAL of 1 to have 70% of the homes

as three bedroom or larger. 75% of the homes are three beds, exceeding policy requirements.

- 8.4 Policy DM1.2 seeks to prevent the loss of small family homes by restricting the net loss of three bed homes and the loss of homes that have a floor area less than 130 sq.m. The existing property is a four bed and measures 205 sq.m. The proposed development would result in the creation of a net increase of three bed homes by 11.

Affordable Housing

- 8.5 The Croydon Local Plan (2018) requires the council to negotiate up to 50% affordable housing (subject to viability). For this site there is a minimum of 15% on a habitable room basis, where build costs are not in the upper quartile and subject to a review mechanism. The Croydon Local Plan (2018) requires this to be sought at a 60:40 split between affordable rented homes and intermediate homes. The London Plan (2021) sets a strategic target of 50%, but allows lower provision to be provided dependent on whether it meets/exceeds certain thresholds, or when it has been viability tested. When a scheme proceeds down the viability tested route, it requires schemes of a single phase to have both early and late stage viability reviews. Policy H6 of the London Plan (2021) requires developments to provide 30% as low cost rented homes, either as London Affordable Rent or Social rent, allocated according to need and for Londoners on low incomes, 30% as intermediate products which includes London Living Rent and London Shared Ownership, with the remaining 40% to be determined by the borough.
- 8.6 The proposed development would provide 19% affordable housing by habitable room, which amounts to 3 homes. The tenure splits would be 63% at London Affordable Rent to 37% shared ownership by habitable room, which translates to 2 London Affordable Rent units and 1 shared ownership units.
- 8.7 The applicant's affordable housing offer has been independently scrutinised by Adams Integra on behalf of the council. The results of the viability appraisal is that there would be a viability deficit and it would not be viable to provide an increased amount of affordable housing. The proposed level of affordable housing is the maximum reasonable, policy compliant (with early and late stage reviews secured through the legal agreement) and thus acceptable.

Residential Quality

- 8.8 The proposed development would provide high quality residential homes. All the proposed homes would meet recommended minimum floor space standards set out in both the London Plan (2021) and DCLG's 'Technical Housing Standards: National Described Space Standards'. All the bedrooms would meet the minimum floor areas set out in the DCLG's 'Technical Housing Standards: National Described Space Standards'.
- 8.9 All homes would receive good levels of daylight by virtue of being dual aspect and as key habitable rooms would be served by generously sized windows. There are some single bedrooms window that will need to be obscurely glazed and non-opening up to a height of 1.7m due to need to protect neighbouring

privacy and neighbourliness. However, given that this only impacts smaller bedrooms, where light is of less importance due to the nature of the rooms use, the impact on the overall quality of accommodation would be acceptable. All units would have floor to ceiling heights of 2.6m, which is excess of the 2.5m required under the London Plan (2021).

8.10 In regards to private amenity space, policy DM 10.4 (c) requires new residential developments to provide a minimum of 5sq.m per 1 to 2 person homes, with an additional 1 sq.m per extra occupant thereafter. All the proposed homes would have a private terrace or balcony that would comply with Council's policy standards.

8.11 All residential homes would have access to communal garden located to the rear of the property. A landscape strategy document has been submitted. Direct access would be provided to the communal garden from the central core. The rear communal garden is largely flat containing communal seating and bbq areas.



Fig C – CGI showing rear garden area from landscape strategy

8.12 Under Policy DM 10.5, the proposed development based on child yield is required to provide 91.4 sq.m of child's play space, and under London Plan the development would be required to provide 94.7 sq.m. Play space is provided throughout the 300 sq.m rear communal garden area in the form of jumping and balancing logs, and swinging bars. Although not necessarily for children, there is also an outdoor gym frame and dip bar. The garden is largely flat and therefore accessible. To ensure appropriate quantum of play space for children is provided, further conditions are recommended.

8.13 In regards to accessibility, London Plan Policy 3.8 'Housing Choice' requires 90% of dwellings to meet M4(2) 'accessible and adaptable dwellings' Building Regulations requirement, with the remaining 10% required to meet M4(3) 'wheelchair user dwellings'.

8.14 The applicant has confirmed that two homes (homes 1 and 2) would be to M4 (3) 'wheelchair user dwellings' standard, whilst all remaining homes would be M4 (2) 'accessible and adaptable dwellings'. A fire evacuation lift is provided within the

development ensuring safe and dignified emergency evacuation for all building users in line with Policy D5 of London Plan (2021). Two accessible parking bays have been included providing a space for each of the wheelchair used dwellings, which meets and exceeds London Plan (2021) standards.

- 8.15 London Plan (2021) Policy D12 Fire Safety requires all major developments to be submitted with a Fire Statement, which is an independent fire strategy, produced by a third party, suitably qualified assessor. The applicant has submitted a Fire Strategy produced by BWC Fire Limited. The strategy has been signed off by a suitably qualified assessor for the scale of development.
- 8.16 Officers have reviewed the information alongside our Building Control colleagues and consider the report is generally reasonable. There are areas where further development of the Fire Strategy will be necessary to ensure that highest standard of fire safety are achieved, however these are solvable and can be appropriate controlled through condition.

Impact on the Appearance of the Site and Surrounding Area.

- 8.17 The existing property is not protected from demolition. As such, it could be demolished under existing permitted development rights through the prior approval process without planning permission. The demolition of the existing building is acceptable subject to conditions.
- 8.18 The application site occupies a prominent corner plot located at the junction of Smitham Bottom Lane and Foxley Lane. The Suburban Design Guide SPD states that proposals for corner plots should seek to accommodate additional height and depth as marker points within the townscape. It states that proposals should seek to include an additional storey to the three storeys recommended in Croydon Local Plan (2018) policy DM10.1, and that some corner plots may be able to accommodate further height provided the massing is responsive to neighbouring properties.
- 8.19 The proposed development is three storeys in height at its boundaries and reaches a maximum height of five storeys. The three storey height at its boundaries allows a gentle and appropriate transition in scale from the neighbouring two storey plus roof form detached properties that adjoin it. The five storey maximum height is achieved in a sensitive and architecturally co-ordinated responsive manner utilising a brick gabled elevation that echoes the gables, eaves and cat slide roof forms of properties found in the area. The appropriate scaling of the development, in co-ordination with its design, successfully allows it to form a townscape marker point, whilst also being responsive to neighbouring properties, as such meets the objectives of the Suburban Design Guide SPD.

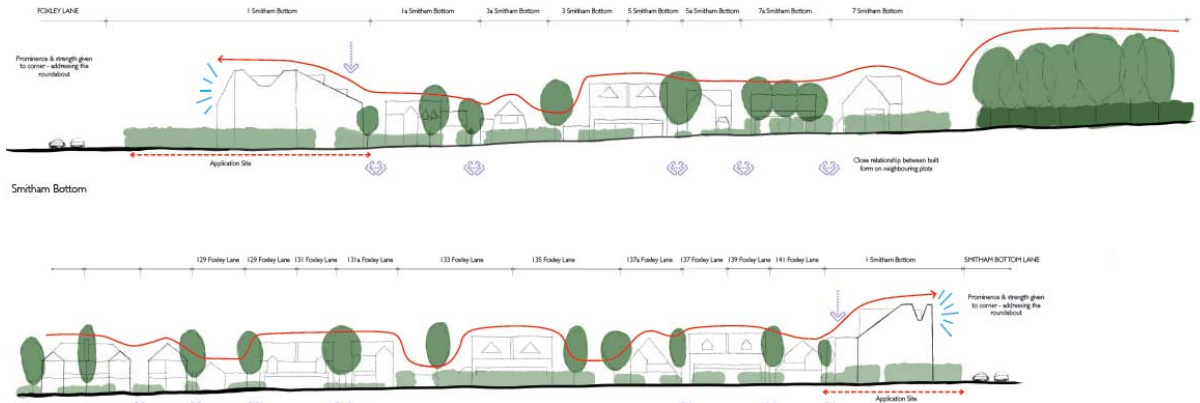
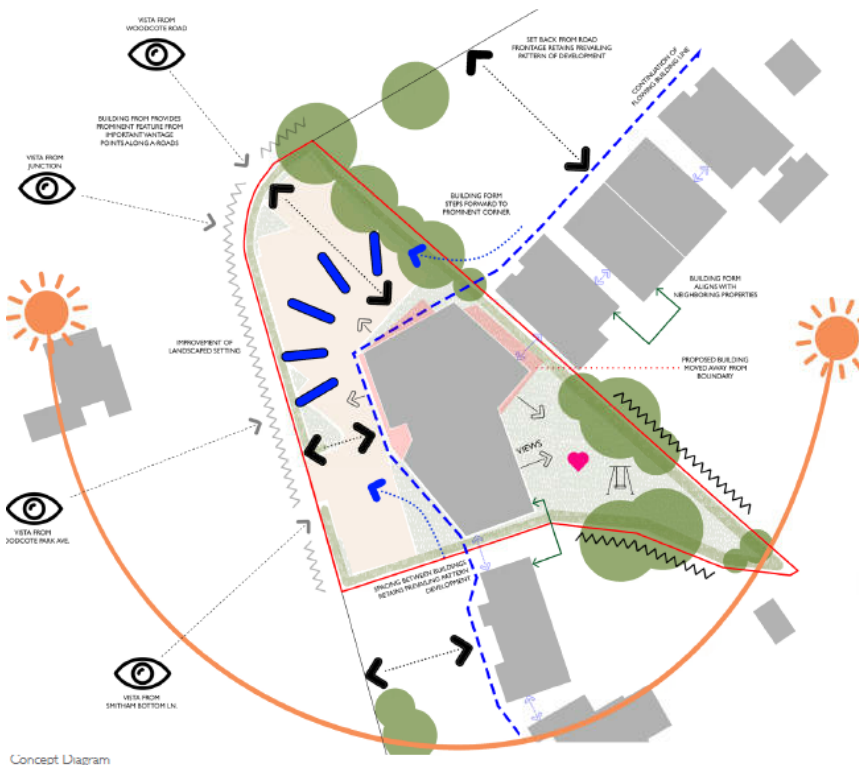


Fig D – Extract from design and access statement

8.20 The development is set in from the boundary with no.141 Foxley Lane by 3.5m and 2.4m with no. 1a Smitham Bottom Lane. This generous distance from the boundary, which is well in excess of the 1m recommended in the Suburban Design Guide, helps with the transition in scale from neighbouring properties, gives the development breathing space and helps prevent it being overbearing.

8.21 The rear building line of the development is set at two differing angles that responds to the corner nature of the site. The rear building line of the development adjacent to no.141 is set approximately 5m back from the neighbour's rear building line. In regards to no 1a Smitham Bottom Lane, the rear building line of the development projects approximately 3.2m further rearwards. This rearward extension of the rear building line is appropriate due to the significant separation distance of 6m between the two flank elevations, which ensures that the development comfortably complies with the 45 degree rule.



Concept Diagram

Fig E – Site Layout Approach

8.22 The front building line is set on three planes. On the Foxley Lane frontage the proposed front building line at the point closest to no.141 is set approximately 3m in front of the neighbours, and set at approximately a 20 degree angle. This projection of the building line forward is not problematic as it responds to the curvature of Foxley Lane, the site's location at corner where there is more inherent flexibility and due to this part of the elevation being set back 30m from Foxley Lane. On the Smitham Bottom Lane side the front building line corresponds directly to adjoining neighbour at the boundary, and then angles gently towards the corner before straightening. This allows for a gradual transition to the corner and still maintains a significant set back from the road of approximately 13m. There is also greater variance of the front building line along this section of Smitham Bottom Lane, and as such the projection of the front building line here would not be uncharacteristic. The fold in the Smitham Bottom Lane elevation helps to break down the length of this elevation, especially in views from Woodcote Park Avenue.



Fig F – CGI of Development

8.23 The proposed detailed design of the development has been informed by a character appraisal and contextual analysis that has looked at character and design features of properties in the area, and analysed the site. This analysis has then successfully been translated into the proposal. The building reimagines the flowing roof forms of the Arts and Crafts houses in the area with its undulating defined gabled roof form, with a setback timber floor. The gabled roof form helps create a contextually responsive building that successfully addresses the corner. Openings have deep reveals, which add depth and expression to the façade. The proposed material palette features white linear bricks, with recessed white mortar that is a high quality robust durable material choice that is central to achieving the high quality of design proposed. Darker brick would be used to give the building a solid base and add an element of contrast. The dark brick base/white brick top composition is commonly found in mock Tudor properties such as the neighbouring property no.141 Foxley Lane. Reconstituted concrete banding helps define the levels of the building and provide welcomed horizontal

emphasis. Window frames and balconies would be bronze colour helping to create a high quality contemporary appearance. Further details on materials is recommended to be secured via condition. To help ensure that the high quality design is delivered through to completion, a clause in the S106 is sought to ensure the retention of the scheme architect, as endorsed by London Plan D4.

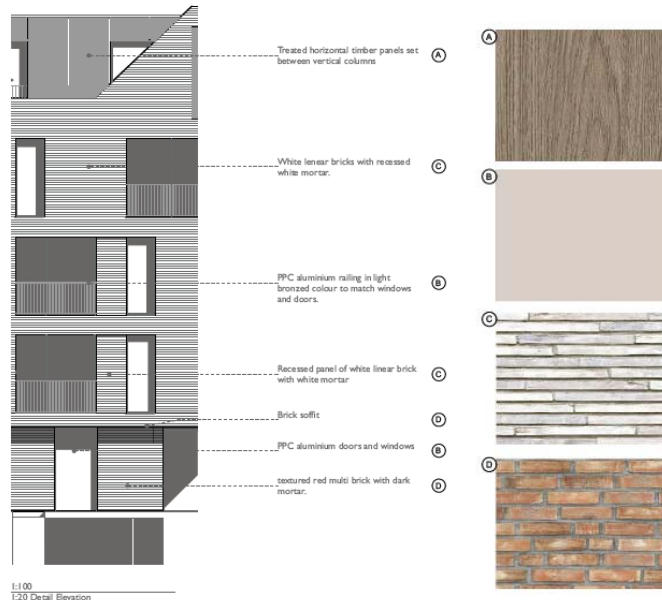


Fig G - Materials

8.24 The proposed landscaping strategy includes a new hedge along the front boundary that forms an appropriate soft buffer to the street that is in keeping with the suburban character of the site, whilst also effectively screening views of the car parking area and providing some privacy. Planters and trees that are proposed will break up the parking area and provide visual relief. The rear garden has been designed to form a communal amenity space, including barbecue areas and ample bench seating, as well as outdoor play and exercise equipment. Planting includes ferns, grasses and groundcover plants. The landscaping strategy document is recommended to be secured via condition.

Impact on Heritage Assets

8.25 The Planning (Listed Buildings and Conservation Areas) Act 1990 in regard to conservation areas (at section 72), requires special attention to be paid to the desirability of preserving or enhancing their character or appearance.

8.26 Policy DM18 of the Local Plan permits development affecting heritage assets where the significance of the asset is preserved or enhanced. Policy SP4 requires developments to respect and enhance heritage assets. London Plan Policy HC1 Heritage, Conservation and Growth states 'Development proposals affecting heritage assets, and their significance, by being sympathetic to the assets' significance and appreciation within their surroundings.

8.27 The site is not located in a Conservation Area. At the site's south eastern boundary corner lies the Webb Estate and Upper Woodcote Village Conservation Area. This boundary belongs to 2 Woodcote Lane, with the property itself due to the generous size of the garden located over 125m away from this boundary.

Number 2 Woodcote Lane's garden edge is defined by large trees and dense foliage, such that there is limited to no visibility between the two sites. The proposed development would therefore preserve the setting (including the character and appearance) of the adjacent Conservation Area.

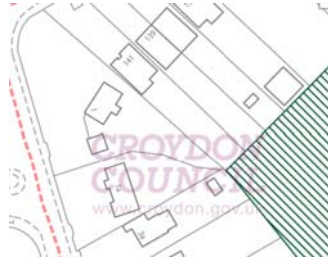


Fig H – Showing site in relationship to Webb Estate Conservation Area (green hatch)

Neighbouring Properties Living Conditions.

- 8.28 The proposed development would not cause significant harm to light and outlook of windows located on the front and rear elevation of no.141 Foxley Lane or 1A Smitham Bottom Lane, due to the appropriate front and rear building lines, that comfortably comply with the BRE's 45 degree rule on plan.
- 8.29 There are no known windows on the side elevation of no. 1A Smitham Bottom Lane. In regards to no. 141 Foxley Lane, there are some unobscured windows at lower ground floor level on southern flank wall that appears to serve a habitable room. There are other windows on this flank elevation, however these based on planning records and site visit observations are obscurely glazed and serving non habitable rooms (bathrooms). All these windows are heavily screened by planting and boundary treatment, and are located at lower ground floor level, which significantly limits the amount of light and outlook that these windows receive. The proposed development would not have an unacceptable impact on the light and outlook of these windows.

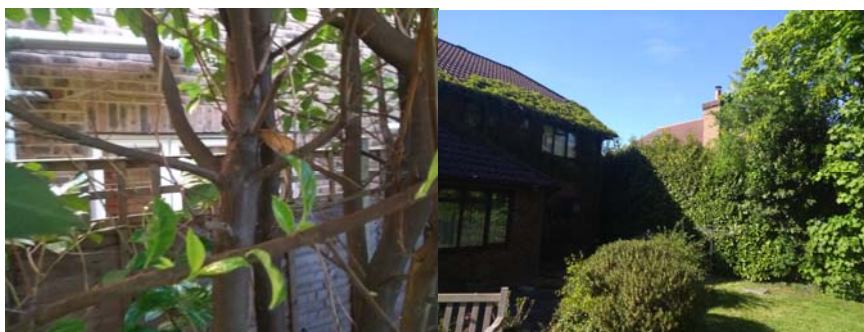


Fig I- Showing the lower ground floor window on no 141 and boundary with no.141 taken from rear of development site.

- 8.30 The proposed development would not cause significant harm to neighbouring privacy. The windows and terraces on the front and rear elevation either due to their location or design, would primarily have views over the development's own garden area, and not directly into adjacent gardens or windows. Similarly these windows/terraces would not directly overlook the first 10m of neighbouring gardens, either due to the angle they face or due to the terrace/windows being

located over 10m away from the boundary. Upper floor windows located on the side elevation are recommended to be condition to be obscurely glazed and non-opening up to 1.7m from the finished floor level so that do not compromise neighbouring amenity or preclude the development of adjacent properties.

- 8.31 The proposed terrace areas would not cause significant noise disturbance to neighbouring properties as they are set a reasonable distance away from neighbouring windows and are modest in size. Generally intensification of the use would not cause unacceptable noise disturbance given the characteristic of the site and the generally low amount of noise generated by residential uses.

Impact on Parking and Highway Conditions.

- 8.32 The proposed development has a PTAL rating of 1b (very low). There are however bus stops close to the site on both Smitham Bottom Lane and Foxley Lane that provides access to the 463 and 127 bus routes, with the latter providing a connection into Purley town centre and railway station.
- 8.33 16 car parking spaces are provided on site, amounting to 1 space per home, which does not conflict with the London Plan's maximum residential car parking standard of 1.5 spaces per dwelling for developments in outer London with a PTAL rating of 0 to 1. The level of parking provision given the reasonable connections to Purley and beyond, as well as the need to promote sustainable mode of transport, is sufficient to meet the needs of the development. In the instance that a greater number of cars were associated with the development, then there is a sufficient number of parking spaces available on Woodcote Park Avenue. This is based from both on site observations and from the applicant's overnight parking survey that was undertaken on the 3rd and 4th March 2020, which demonstrated only 3 of 44 car parking spaces on Woodcote Park Avenue between Elton Road and Smitham Bottom Lane were occupied. The proposed development would not cause an unacceptable level of parking stress. A range of initiatives to discourage car ownership are proposed in paragraph 3.6.2 of the applicant's transport assessment, including travel cards and car club incentives. These are recommended to be secured via condition. A condition is also recommended to ensure that electric vehicle charging points are installed in line with London Plan (2021) standards.
- 8.34 Two on-site disabled car parking spaces are proposed for use by blue badge holders. This exceeds policy T6.1 of the London Plan (2021) which requires one space per dwelling for three percent of the total dwellings, with it demonstrated how a further seven percent could be provided in the future.
- 8.35 In terms of trip generation, in the worst case scenario the development is forecasted to generate 8 car movements in the morning peak, 6 car movements in the evening peak hour, with an additional 26 during the day. The existing property is estimated to generate 7 trips during the whole day, with 1 occurring in morning peak and 2 in evening peak. The additional 33 trips a day would have a negligible impact on traffic generation and operation of the highway.

8.36 The existing property has approximately 4 parking spaces which are accessed via a drop kerb at the south western corner of the site on Smitham Bottom Lane. This existing exit has very poor visibility due to surrounding hedges and planting. The proposed development would be served by a new drop kerb located approximately 5m to the north. The new dropped kerb would have visibility splays that comply with guidance from the Suburban Design Guide SPD that from a point 2.4m back from the edge of the pavement would allow views of 34m to the north and 43m to the south. Tracking diagrams have been provided that demonstrate that large cars (4.8m length by 1.8m in width) would be able to enter and exit the site safely. The proposed development would not have an adverse impact on highway or pedestrian safety. Prior to the first occupation of the development the necessary works to the public highway (undertaken through S.278 of the Highways Act) will be secured via the S.106 agreement.



Fig J – Existing Driveway Entrance

8.37 In regards to cycle parking, the London Plan (2021) requires one long stay cycle space to be provided for every studio or 1 person home, and 1.5 spaces for every 1 bed home and 2 spaces for all other dwellings, and 2 short stay space for schemes between 5 and 40 homes, and then a further space for every 40 homes after. In total 31 long stay cycle parking spaces and 1 short stay parking space are required by policy. In total 36 cycle parking spaces which include 4 short stay cycle spaces would be provided exceeding policy requirements. There is also space provided for accessible bikes. The long stay cycle store is provided internally in a secure and convenient location. The short stay cycle is located in an appropriate and convenient location adjacent to the front entrance. Conditions are recommended to ensure that the cycling is provided in accordance with the plans submitted.

8.38 A draft construction logistics plan (CLP) was submitted with the application. To ensure that the impact of the development during construction does not have an undue impact on the operation of the highway, a full CLP is recommended to be secured via condition.

8.39 A refuse store is located internally and is within 20m of the highway, thus enabling convenient collection from Smitham Bottom Lane. The bin store

contains four 1,100 litre bins, 2 of which are of recycling. In addition 240 litres of bins for food recycling have been provided. A 10sq.m bulky waste collection point is also provided adjacent to the car park entrance. The level of provision is in line with council's guidance and recommended to be secured via condition.

8.40 A financial contribution of £24,000 will be secured through a Section 106 contribution that will go towards improvements to sustainable transport including but not limited to on street car clubs with EVCP's and/or highway changes such as on street restrictions or membership of car club for the units for 3 years. This is required to promote sustainable transport alternatives and because of the increased traffic generated from the increased number of units.

Trees and Landscaping.

8.41 Croydon Local Plan (2018) policy DM28: Trees, states that the council will not permit "development that results in the avoidable loss or the excessive pruning of preserved trees or retained trees where they make a contribution to the character of the area". This is further expanded in G7 of the London Plan 2021.

8.42 There are no protected trees within the site, but there is a protected Oak (TPO order 34) located close to the southern rear boundary. The applicant has submitted an arboricultural statement outlining how this tree would be protected during construction. The proposed development would not have an adverse impact on visual amenity of protected trees.



Fig K – Picture of TPO Oak tree and plan showing trees location relative to development.

8.43 There is a group of trees adjacent to the entrance of the site that consists of approximately 25 trees of various species. All are grade C trees of low quality. These are being retained where possible, although will be trimmed back. Given the low quality of these trees this is acceptable. The hedge along the front would be removed, but this is of low quality and not worthy of protection, and therefore no objection is raised. Officers are aware that several trees, including Ash, Maple, Birch and Robinia were removed on the site prior to submission of the planning application. Whilst the removal of these trees is disappointing, they were understood to be of poor quality and as such not protected, so their removal did not require consent.

- 8.44 Six new trees of 12 to 14 cm girth are proposed to be planted with the front garden area, five of which would be located immediately adjacent to the street. Officers are satisfied that the proposed trees would form adequate compensation for the trees and hedges that would be removed by the development, as well as those recently removed.
- 8.45 Policy G5 of the London Plan (2021) states that major development proposal should contribute by including urban greening. The London Plan (2021) set out that borough's should develop their own urban greening factor, but in the interim suggest a target score of 0.4 for developments, which are predominantly residential. Policy G6 of the London Plan (2021) sets out proposals should manage their impacts on biodiversity and aim to secure net biodiversity gain.
- 8.46 The current Urban Greening Factor of the proposed development is 0.50, thus significantly exceeding London Plan's target. To ensure that the development seeks to achieve a net gain in biodiversity, an Ecological Mitigation and Enhancement scheme is recommended to be secured via condition.

Flooding.

- 8.47 The site and/or its immediate surrounding area at low risk (between 1 in 100 and 1 in 1000 year risk) from surface water flooding. The site is located within Flood Zone 1, as defined by the Environmental Agency.
- 8.48 The applicant has submitted a Surface Water Flooding Strategy which has been reviewed by the LLFA, and considered subject to conditions, satisfactory. Infiltration testing has been undertaken which has informed the drainage system design, with surface water discharged through infiltration. Soak ways have been designed to accommodate a 1 in 100 year flooding event with additional 40% allowance for increased rainfall intensity as result of climate change. The development would result in close to greenfield runoff rates, which represents an improvement over the current situation. Rainwater harvesting butts will also be utilised.

Other Planning Issues.

- 8.49 Policy SP6.2 requires new development to minimise carbon dioxide emissions, including that new dwellings (in major development proposals) must be Zero Carbon. As a minimum a 35% reduction in regulated carbon emissions over Part L 2013 is required, with the remaining CO₂ emissions to be offset through a financial contribution. The policy also requires major developments to be enabled for district energy connection unless demonstrated not to be feasible.
- 8.50 The proposed development would achieve a 39.5% reduction in regulated CO₂ emissions. The remaining regulated CO₂ emissions shortfall (59 tonnes) would be covered by a carbon offset payment which would need to be secured through a S.106 agreement. There is no district energy connection and one is not likely to be feasible/viable for this area and site.

- 8.51 A planning condition is recommended to secure compliance with the domestic water consumption target of 110 litre/person/day, to ensure sustainable use of resources.
- 8.52 Policy SL 1 Improving Air Quality of the London Plan (2021) states that development proposal should be at least 'air quality neutral'. Croydon Local Plan (2018) requires development to positively contribute to improving air, land, noise and water quality by minimising pollution. To address this the applicant has submitted an Air Quality Assessment. The proposed heating and hot water strategy would ensure that the building does not generate any emissions. The impact from vehicular emissions would be negligible. The statement outlines how development would be constructed in an appropriate way such that any impact on air quality would not be significant. In addition in order to be acceptable a financial contribution is required to be secured via S106 agreement.
- 8.53 In regards to land contamination, a phase 1 Environmental Risk Assessment and a Phase 2: Site Investigation report were submitted in support of the application. Both reports have been reviewed by the council's Land Contamination Officer whom has confirmed that the phase 1 report is satisfactory. However, due to contaminations encountered during the initial site investigations, further ground gas monitoring is required. These further investigations are recommended to be secured via condition, along with a Remediation Strategy.
- 8.54 In line with policy DM16 of the Croydon Local Plan (2018) a health impact assessment was submitted which identifies that the proposal will improve housing quality, has good access to health, social and retail facilities, open space, and would be environmentally sustainable. Planning obligations and conditions are recommended restricting car use to avoid unacceptable health impacts.
- 8.55 The development would be liable for both Mayoral Community Infrastructure Levy (CIL) and Croydon CIL. The collection of CIL would contribute to provision of infrastructure to support the development including provisions, improvement, replacement, operation or maintenance of education facilities, health care facilities, and opens space, public sports and leisure, and community facilities.

9 Conclusion

- 9.1 All other relevant policies and considerations, including equalities, have been taken into account. Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION

Appendix 1: Planning Policies and Guidance

The following lists set out the most relevant policies and guidance, although they are not exhaustive and the provisions of the whole Development Plan apply (in addition to further material considerations).

London Plan (2021)

- GG1 Building Strong and Inclusive Communities
- GG2 Making Best Use of Land
- GG3 Creating a Healthy City
- GG4 Delivering the Homes Londoners Need
- GG6 Increasing Efficiency and Resilience
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive Design
- D6 Housing Quality and Standards
- D7 Accessible Housing
- D11 Safety, Security and Resilience to Emergency
- D12 Fire Safety
- D14 Noise
- H1 Increasing Housing Supply
- H2 Small Sites
- H5 Threshold Approach to Applications
- H6 Affordable Housing Tenure
- H7 Monitoring of Affordable Housing
- H10 Housing Size Mix
- S4 Play and Informal Recreation
- E11 Skills and opportunities for All
- HC1 Heritage Conservation and Growth
- G5 Urban Greening
- G6 Biodiversity and access to nature
- SI 1 Improving Air Quality
- SI 2 Minimising greenhouse gas emissions
- SI 4 Managing Heat Risk
- SI 5 Water Infrastructure
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage
- T1 Strategic approach to Transport
- T2 Healthy Streets
- T4 Assessing and mitigating transport impacts
- T5 Cycling
- T6 Car Parking
- T7 Deliveries, Servicing and Construction

Croydon Local Plan (2018)

Strategic Policies

- Policy SP1: The Places of Croydon
- Policy SP2: Homes
- Policy SP3: Employment
- Policy SP4: Urban Design and Local Character
- Policy SP6: Environment and Climate Change
- Policy SP8: Transport and Communication

Development Management Policies

- Policy DM1: Housing choice for sustainable communities
- Policy DM10: Design and character
- Policy DM13: Refuse and recycling
- Policy DM16: Promoting Healthy Communities
- Policy DM18: Heritage assets and conservation
- Policy DM23: Development and construction
- Policy DM24: Land contamination
- Policy DM25: Sustainable Drainage Systems and Reducing Flood Risk
- Policy DM27: Protecting and enhancing our biodiversity
- Policy DM28: Trees
- Policy DM29: Promoting sustainable travel and reducing congestion
- Policy DM30: Car and cycle parking in new development

Supplementary Planning Guidance (SPG) / and Documents (SPD)

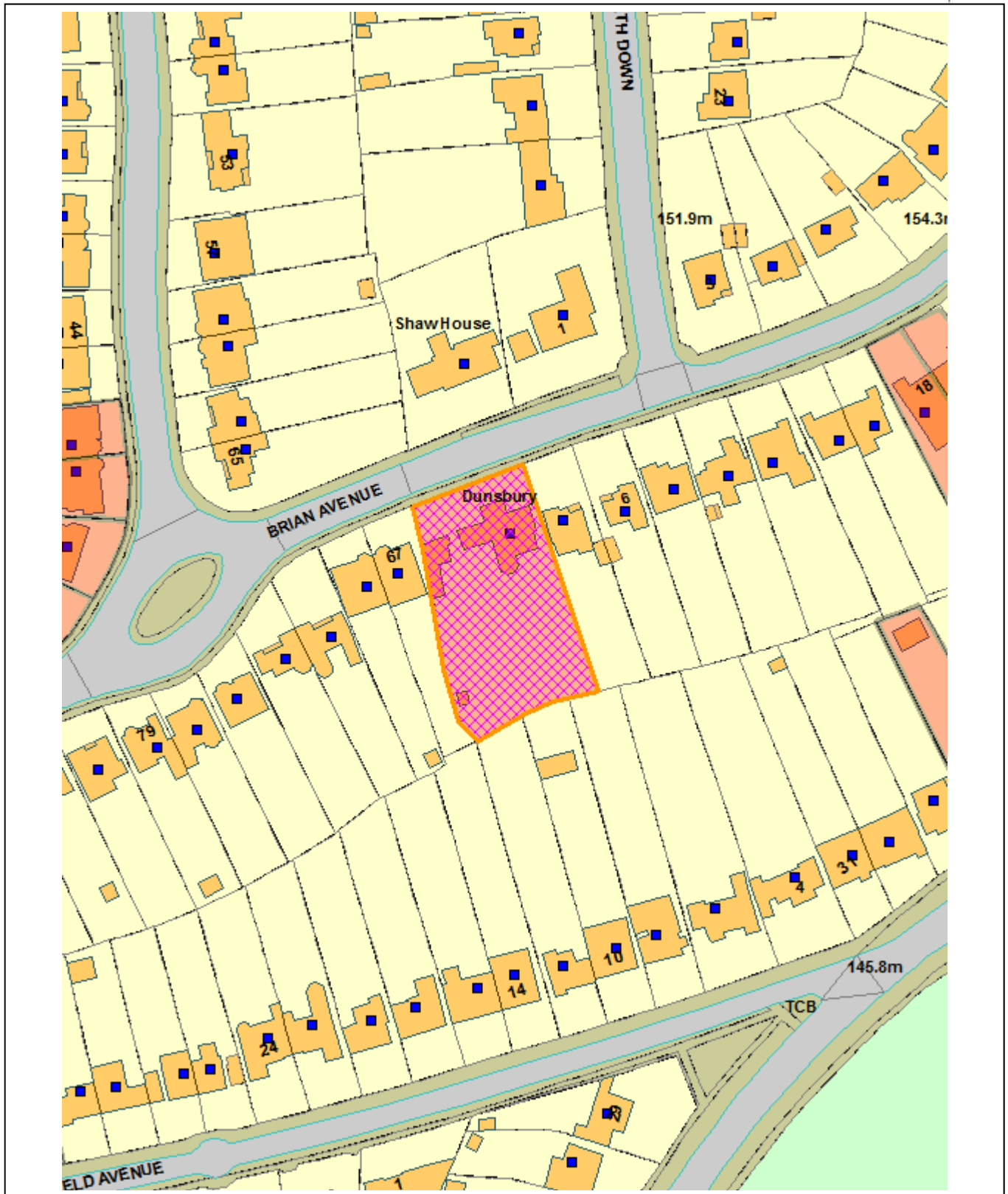
London Plan

- Affordable Housing & Viability (August 2017)
- Crossrail Funding (March 2016)
- Housing (March 2016)
- Accessible London: Achieving an Inclusive Environment (October 2014)
- The control of dust and emissions during construction and demolition (July 2014)
- Character and Context (June 2014)
- Sustainable Design and Construction (April 2014)
- Play and Informal Recreation (September 2012)
- Planning for Equality and Diversity in London (October 2007)

Croydon Development Plan

- Suburban Design Guide 2019 SPD
- Designing for community safety SPD
- SPG 12: Landscape design

This page is intentionally left blank



This page is intentionally left blank

1.0 APPLICATION DETAILS

Ref: 21/04742/FUL
 Location: 2 Shaw Crescent, South Croydon, CR2 9JA
 Ward: Sanderstead
 Description: Demolition of single-family dwellinghouse and erection of 4x 3-storey semi-detached dwellinghouses and a terrace of 3x 2-storey dwellinghouses containing total of 7x 3-bedroom units.
 Drawing Nos: FX02-S1-101A, FX02-S1-102, FX02-S1-103C, FX02-S1-104A, FX02-S1-105A, FX02-S1-106A, FX02-S1-107A, FX02-S1-108B, FX02-S1-109A, FX02-S1-110A, FX02-S1-111A, FX02-S1-112A, FX02-S1-113A, FX02-S1-114A, FX02-S1-115A, FX02-S1-116A, FX02-S1-117A, FX02-S1-118A, FX02-S1-119A, FX02-S1-120A, FX02-S1-121A, FX02-S1-122A, Tree Protection Plan ref. CCL10710/TPP Rev.1.
 Agent: Mr Gerasimos Stamatelatos
 Applicant: Aventier Ltd
 Case Officer: Nathan Pearce

	2 beds	3 beds	4 bed	TOTAL
Existing	0	0	1	1
Proposed (all market housing)	0	7	0	7

Number of car parking spaces	Number of cycle parking spaces
11	14

1.1 This application is being reported to Planning Committee in accordance with the following Committee Consideration Criteria:

- Objections above the threshold in the Committee Consideration Criteria
- Application referred by Local Ward Councillor Tim Pollard

2.0 RECOMMENDATION

2.1 That the Planning Committee resolve to GRANT planning permission subject to the completion of a legal agreement to secure the following:

- A financial contribution of £10,500 for sustainable transport improvements and enhancements.

2.2 That the Director of Planning and Sustainable Regeneration has delegated authority to negotiate the legal agreement indicated above.

- 2.3 That the Director of Planning and Sustainable Regeneration has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

CONDITIONS

1. Commencement time limit of 3 years
2. Carried out in accordance with the approved drawings and reports
3. Carried out in accordance with the approved tree protection plan
4. Carried out in accordance with the approved ecological surveys and reports

Pre-commencement conditions

5. Construction Management Plan and Construction Logistics Plan
6. Construction environmental plan for biodiversity
7. Ecological protection of protected species
8. Biodiversity mitigation and enhancement measures
9. Materials / details to be submitted
10. Submission of landscaping details
11. Submission of SUDS details

Pre-Occupation Conditions

12. Ecological lighting strategy
13. Compliance with Tree Protection Plan
14. Submission of site waste management plan for refuse collection
15. Implementation of car parking as shown on plans
16. Installation of EVCPs at 20% active and 80% passive
17. One unit to be accessible homes M4(3) and remainder M4(2)
18. Compliance with energy and water efficiency requirements
19. Compliance with fire statement
20. Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration

INFORMATIVES

1. Granted subject to a Section 106 Agreement
2. Community Infrastructure Levy
3. Code of practice for Construction Sites
4. Highways informative in relation to s278 and s38 works required
5. Compliance with Building/Fire Regulations
6. Construction Logistics Informative
7. Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration

- 2.4 That, if by 10th June the legal agreement has not been completed, the Director of Planning and Sustainable Regeneration is delegated authority to refuse planning permission.

3.0 PROPOSAL AND LOCATION DETAILS

Proposal

- 3.1 The proposal is for the demolition of the single family dwelling house (two-storey) and the redevelopment of the site to provide 7 new dwelling houses. It is proposed to provide two pairs of semi-detached dwellings along the existing frontage with 3 terraced dwellings located to the rear of the site.
- 3.2 The site would be accessed via the existing highway on Shaw Crescent and a new access road would be incorporated to provide vehicular and pedestrian access to the rear of the site.
- 3.3 The proposal would provide 11 off street car parking spaces to the front and middle of the site, 14 cycle parking spaces with associated landscaping. Each property would have private amenity to the rear.



Figure 1-CGI of proposed semi detached dwellings fronting Shaw Crescent

- 3.4 It should be noted that amended drawings were received during the application period which reduced the number of units from 8 to 7, reduced the amount of hardstanding within the site (by removing the turning head for the refuse collection vehicle) and made minor alterations to the layout and appearance of the houses and site. Additional ecology information was also received at the request of the council's ecologist. These revisions have sought to address consultees and objectors concerns where relevant. These changes in the view of officers did not require formal re-consultation on the application given they resulted in reductions and improvements to the scheme.

Site and Surroundings

- 3.5 The application site is located on the southern side of Shaw Crescent and currently comprise one detached dwellinghouse. The site is predominantly flat, with the north-west corner being slightly higher (approximately a 0.9m difference across the site). The area is predominantly residential and comprises a number of two storey detached and semi-detached dwellings. The proposed area is traditional in terms of the architectural style and is suburban in character.

- The site has a Public Transport Accessibility Level (PTAL) of 0 which is considered to be very poor.
- The site is at very low risk of surface water flooding.
- There are no protected trees on the site.
- There are no specific local plan policy designations against the site.



Figure 2-Aerial view of site

Planning History

- 3.6 There are no relevant planning applications associated with the site.
- 3.7 21/00691/PRE - Demolition of existing dwellinghouse; erection of 4no. three-storey semidetached houses comprising 4x3 bedroom units, 2no. two-storey semidetached houses comprising 2x3 bedroom units and 3no. two-storey terraced houses comprising 3x3 bedroom units with associated access, nine parking spaces, cycle and refuse storage.

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the intensified residential development is acceptable given the residential character of the surrounding area and the need for housing nationally and locally.
- The proposal provides good quality accommodation for future residents.
- The design and appearance of the development would not harm the character of the surrounding area.
- The proposed landscaping scheme will safeguard and seek to enhance the biodiversity of the site.
- The living conditions of adjoining occupiers would be protected from undue harm.
- The quantity of parking provision and impact upon highway safety and efficiency would be acceptable.
- Sustainability aspects can be controlled by conditions.

5.0 CONSULTATIONS

5.1 The views of the planning service are set out below in material considerations

PLACE SERVICES (Council's ecological advisor)

5.2 Originally objected to the proposal in relation to the potential for badgers to be on site or within the immediate surrounding area. Clarification was received which was satisfactory for the ecologist to recommend no objection subject to conditions securing biodiversity mitigation and enhancement measures. [Officer Comment: the conditions are recommended to be attached to the planning permission].

6.0 LOCAL REPRESENTATION

6.1 The application was publicised by 9 letters of notification to neighbouring properties. The number of representations received in response to the consultation are as follows.

6.2 No of individual responses: 52; Objecting: 51; Supporting: 1

6.3 The following issues were raised in representations. Those that are material to the determination of the application, are addressed in substance in the Material Planning Considerations section of this report.

Objection	Officer comment
<i>Character and design</i>	
Overdevelopment of the site Building is overbearing, too tall, out of character / not in keeping with the area/loss of garden/ internal layout	Acknowledged and addressed in paragraphs 8.7-8.18

Neighbouring amenity impacts	
Overlooking and privacy concerns	Acknowledged and addressed in paragraphs 8.23-8.30
Impact on daylight/sunlight/loss of light to gardens	
Noise	
Parking and highways	
Insufficient parking will lead to overspill parking on surrounding road	Acknowledged and addressed in paragraphs 8.36-8.44
Insufficient turning space on the site so vehicles will have to reverse onto The Gallop which is dangerous	
Refuse vehicles cannot access the site	
Other	
No improvement to supporting infrastructure or public transport is proposed	A CIL contribution will be provided.
Impact due to construction traffic	Acknowledged and addressed in paragraph 8.43
Increased fire risk	Acknowledged and addressed in paragraph 8.51-8.54
Surface water flooding	Acknowledged and addressed in paragraph 8.47-8.49
Impact on wildlife/biodiversity	Acknowledged and addressed in Paragraph 8.34-8.35
Impact on trees	Acknowledged and addressed in Paragraph 8.31-8.33
Support	Officer comment
Provides additional new homes	Acknowledged and addressed in Paragraph 8.2-8.6

6.4 Local Ward Councillor, Tim Pollard, objected to the proposed development and referred the planning application to be considered by planning committee. The councillor raised the following concerns in relation to the proposed development:

- Overdevelopment of the site
- Out of keeping with the area
- Impact on amenity of neighbouring occupiers

6.5 Local Ward Councillor, Helen Redfern, objected to the proposed development. The councillor raised the following concerns in relation to the proposed development:

- Overdevelopment of the site
- Character and appearance

- Poor living conditions for future occupiers
- Poor design, impact on streetscene
- Inadequate refuse storage
- Overbearing impact on neighbours
- Increased noise and light pollution
- Frontage dominated by car parking

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

- 7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2012).
- 7.2 Government Guidance is contained in the National Planning Policy Framework (NPPF) (2021). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay.
- 7.3 The main planning Policies relevant in the assessment of this application are:

London Plan (2021):

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D11 Safety, security and resistance to emergency
- D12 Fire Safety
- D14 Noise
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- S11 Improving air quality
- S12 Minimising greenhouse gas emissions
- S13 Energy infrastructure
- S15 Water infrastructure
- S12 Flood risk management
- S13 Sustainable drainage
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T5 Cycling

- T6 Car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction
- T9 Funding transport infrastructure through planning

Croydon Local Plan (2018):

- SP2 Homes
- DM1 Housing choice for sustainable communities
- SP4 Urban Design and Local Character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and Climate Change
- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Protecting and Enhancing our Biodiversity
- DM28 Trees
- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development
- DM43 Sanderstead

Supplementary Planning Documents/Guidance

- Croydon Suburban Design Guide SPD (2019)
- Section 106 Planning Obligations in Croydon and their relationship to the Community Infrastructure Levy (2019)
- Croydon SPG 12: Landscape Design
- London Housing SPG (Mayor of London, 2016)
- Accessible London: Achieving an Inclusive Environment SPG (Mayor of London, 2014)
- Character and Context SPG (Mayor of London, 2014)
- Sustainable Design and Construction SPG (Mayor of London, 2014)

8.0 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues relevant in the assessment of this application are as follows:

- Principle of development
- Design and impact on the character of the area
- Quality of accommodation
- Impact on neighbouring residential amenity
- Trees, landscaping and ecology
- Access, parking and highway safety
- Flood risk, SuDS and energy efficiency
- Other matters

Principle of development

- 8.2 The existing use of the site is residential (C3) and as such the principle of redeveloping the site for residential purposes is acceptable in land use terms. Policy SP2.1 of the Croydon Local Plan (2018) applies a presumption in favour of development of new homes and Policy SP2.2 states that the Council will seek to deliver 32,890 homes between 2016 and 2036, with 10,060 of said homes being delivered across the borough on windfall sites. London Plan policy D3 encourages incremental densification to achieve a change in densities in the most appropriate way and policy H2 seeks to increase the contribution of small sites to meeting London's housing needs. Given the above, the principle of intensifying the residential use of the existing site is acceptable, subject to the design and impact on the character of the area being acceptable, which is covered below.
- 8.3 Policies SP2.7 and DM1.1 set a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms and DM1.2 seeks to avoid a net loss of 3-bed family-sized homes in order to ensure that the borough's need for family sized units is met and that a choice of homes is available in the borough. The proposed scheme would provide seven 3 bedroom homes so this strategic policy requirement is met.
- 8.4 The Croydon Local Plan has identified that some existing residential areas have the capacity to accommodate growth without significant change to its character. Several approaches have been outlined within the Suburban design Guide SPD (SDG). This would see the replacement of a single family dwelling house with a housing development that would increase the existing density, massing and footprint.
- 8.5 This approach optimises the development potential of the site, allows for a suitable layout and appreciation of the site context and allows for a considered response. Therefore, the principle of development in terms of *land use* is acceptable and would be supported in policy terms.
- 8.6 The proposed scheme on the site for 7 units would not trigger affordable housing contributions in line with policy SP2 or London Plan policy H4 or H5.

Design and impact on the character of the area

Height, scale, massing and layout

- 8.7 The proposed dwellings to the front of the site would respect the existing building lines of the neighbouring properties which front Shaw Crescent in terms of their orientation and siting.
- 8.8 The height of the proposed dwellings fronting Shaw Crescent are considered to be acceptable and in line with the objectives of the Croydon Local Plan and the Suburban Design Guide. Local Plan Policy DM10.1 states that new developments should be of at least three storeys. The height of the development would be two full floors with accommodation in the roofspace therefore complying with the aims and objectives of the guidance. The dwellings to the rear of the site would be 2 storeys in height providing a built form that is subservient to the dwellings to the front, which is appropriate given their 'backland' siting.

8.9 With regards to the layout and siting of the proposed development, it is considered that the siting of the built form is acceptable. The proposals are set away from the neighbouring side boundaries maintaining a separation distance between the proposed dwellings and the existing neighbouring properties. This development pattern is consistent with the surrounding built form which contributes to the suburban character of the area. Whilst it is noted that the built form to the rear of the site within the existing garden is not a characteristic of the local area, the Local Plan and Suburban Design Guide supports this form of development subjecting to meeting the aims and objectives of the relevant policy, guidance and the gradual evolution of the suburbs.

8.10 A central route is provided through the middle of the site to facilitate vehicular and pedestrian access to the rear. Each dwelling would benefit from private amenity space in the form of a designated rear garden.



Figure 3-Proposed Site Plan

8.11 Section 2.9 of the Suburban Design Guide states that back to back distances of new to new dwellings should to a minimum of 12m. With regards to the relationship of the dwellings located within the rear of the site with those located on at the front on Shaw Crescent, a separation distance of between 14m and 18m will be provided which is consistent with the relevant guidance.

8.12 The guidance states further that back to back distances of new to existing 3rd party dwellings should be at a minimum of 18m. With regards to the proposed dwellings to the rear of the site and their relationship with the existing dwellings on Westfield Avenue, these would be located approximately 40m away from the existing dwellings, ensuring that the proposals meet the relevant objective of the Suburban Design Guide as set out within section 2.9.

- 8.13 With regard to the front landscaping the proposed layout has an appropriate mix of hard and soft landscaping. This allows for the required quantum of car parking to be provided on-site, whilst allowing meaningful soft landscaping in the form of lawn areas, hedging and trees.
- 8.14 Overall it is considered that the height, massing, scale and site layout of the proposed development, would be in line and consistent with the aims and objectives of Policy DM10 and the Suburban Design Guide.

Detailed design

- 8.15 The design principles of the dwellings fronting Shaw Crescent have been drawn from the contextual character analysis to provide an asymmetrical roof form when viewed from the street. A cat slide roof feature is present on both pairs of semi-detached dwellings. This feature is considered to help break up the massing of the elevation and provides definition so that the dwellings appear comfortable as part of the wider street scene.

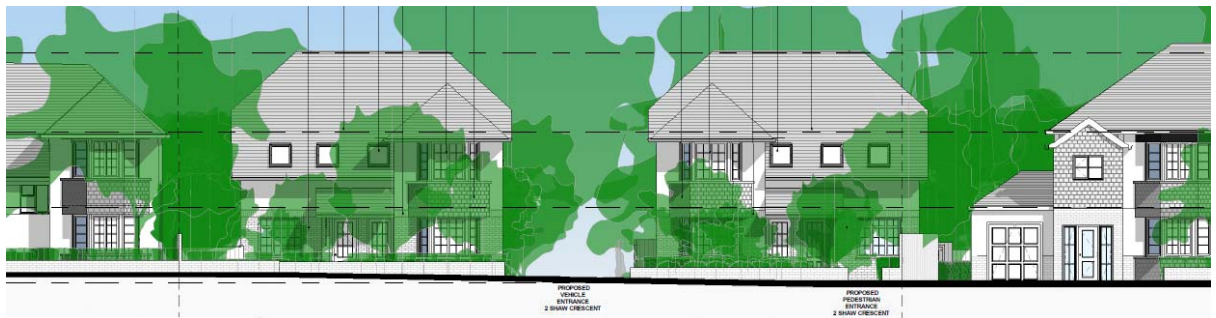


Figure 4-Elevations fronting Shaw Crescent

- 8.16 The proposed fenestration of the dwellings to the front of the site have taken a traditional approach in terms of their formation on the front elevation of the dwelling which would be in keeping with the traditional architectural styles of the existing dwellings within the local area.
- 8.17 The elevations of the two pairs of semi-detached dwellings are broken up through the use of different materials at the ground and upper floors. A traditional brick would be used on the ground floor of the dwellings and as white render is a common feature found within the local area, it will be used on the upper floors of the development. A red clay tile would be used for the roof of the dwelling. It is considered that the proposed material choice ensures that the development is sympathetic with the surrounding area in terms of the traditional style of architecture through the use of materials such as brown brick and white render.
- 8.18 The proposal to the rear takes on a more subdued and subordinate design approach to read as a back land development and to reduce its impact on the proposed and surrounding properties. With regards to the overall built form within the rear of the site, the design has sought to reduce the impact of the built form through the creation of a short asymmetrical terrace. It is considered that this results in a less dominant elevation in terms of the built form to the rear and reduces its impact on the character of the wider area.



Figure 5-Front elevations of dwellings to the rear of the site

- 8.19 The proposed materials for the rear of the development will complement those to the front to ensure that the development is read as a whole.
- 8.20 The design approach is considered in keeping with the character of the street in terms of design, height, scale, massing and layout. It has an appropriate balance of hard and soft landscaping.

Quality of accommodation and internal layout

- 8.21 The National Design Guide states that well designed homes should be functional, accessible and sustainable. They should provide internal environments and associated external spaces that support the health and well-being of their users and all who experience them. Homes should meet the needs of a diverse range of users, taking into factors such as ageing population and cultural differences. They should be adequate in size, fit for purpose and adaptable to the changing needs of their occupants over time. London Plan Policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments. All proposed units comply with the minimum space standards and internal layouts provide hallways and adequate storage space.
- 8.22 The Nationally Described Space Standards (NDSS) provide minimum technical space standards for new dwellings in terms of the gross internal floor areas and storage. All of the proposed units would meet the minimum required gross internal floor area. All of the proposed dwellings are arranged traditionally in terms of their layouts with living accommodation located on the ground floor and bedrooms/study rooms provided on the upper floors. Each property would be dual aspect, which will provide suitable cross ventilation, providing greater flexibility in the use of rooms whilst also being better equipped for future adaptability. This would also provide sufficient daylight to enter the units whilst also providing a good level of outlook for the future occupiers of the development.
- 8.23 Some of the secondary bedrooms are served by rooflights only. Although this would result in limited outlook for the occupiers of those bedrooms, on balance this is considered acceptable as they are not primary bedrooms and outlook from such rooms is less important than primary living areas such as living

rooms/dining rooms and kitchens. Each dwelling has a minimum private amenity space of 25m² which is acceptable. There is no communal amenity space needed as all of the units are houses.

- 8.24 Good design promotes quality of life for the occupants and users of buildings. In terms of accessibility, one of the units would be M4(3) compliant and all other units would be M4(2) compliant which is acceptable given the typology of the dwelling as a house. This would be secured by condition.
- 8.25 London Plan Policy D12 required that development proposals should achieve the highest standards of fire safety at the earliest possible stage: *'In the interest of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of safety'*
- 8.26 The fire safety statement has been prepared with the level of detail that is appropriate and reasonable to the scale of development. The statement indicates that fire appliances can be located to the front of the property on Shaw Crescent, further to this the properties benefit from extensive rear gardens and to the front that would offer easily accessible refuge for occupiers. The buildings have been designed in such a way to minimise the spread of fire as outlined in the Fire Strategy Statement. The rear building would be 30m from Shaw Crescent within the 45m distance that fire service vehicles should be able to access a property. The proposed development will ensure that there will be viable access for firefighting equipment appropriate for the size of development. It is considered that the statement that has been submitted is sufficient to fulfil the requirements of D12.
- 8.27 Overall the proposal is considered to result in a high quality development, including an uplift in family accommodation, and will offer future occupiers a good standard of amenity, including the provision of communal amenity space in accordance with Local Plan Policies SP2 and DM10 and London Plan policies D6, D7 and D12.

Impacts on neighbouring residential amenity

- 8.28 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels.
- 8.29 Representations have been made by the neighbours from adjoining and surrounding properties, with regard to impact on overlooking, outlook, privacy and amenity. Officers have assessed the impact on directly affected neighbours on Shaw Crescent, Brian Avenue and Westfield Avenue. The properties with the potential to be most affected are the neighbouring properties at numbers 4 Shaw Crescent, 67 Brian Avenue and 8-12 Westfield Avenue.



Figure 6-Neighbouring Properties

4 Shaw Crescent and 67 Brian Avenue

- 8.30 The pair of semi-detached dwellings at the front of the site are situated broadly in the location of the existing dwelling. Based on the submitted drawings, it can be demonstrated that the proposals do not intersect the 45 degree lines in plan when measured from the nearest ground floor neighbouring habitable room windows. 4 Shaw Crescent does not have any flank windows. 67 Brian Avenue has 2 windows in the flank elevation at first floor, these are obscure glazed and appear to serve a bathroom and stairs which are not habitable rooms.
- 8.31 With regards to the proposed height of the buildings at the front of the site and as noted previously, the built form is arranged over two stories with accommodation within the roof space. The Local Plan and the Suburban Design Guide encourage development of this height within such locations. Based on this policy position, it is considered that the proposed height of the dwellings would be acceptable and in accordance with local policy and would therefore have a limited impact on the outlook or the amenity of the neighbouring dwellings.
- 8.32 The dwellings located to the rear would be situated at least 13m from the existing dwelling at 67 Brian Avenue at an oblique angle. The rear houses are likely to result in some oblique views over the site towards existing dwelling at 67 Brian Avenue. That said, the fenestration of the building to the rear has been arranged

in order to mitigate overlooking particular to the boundary and landscaping is proposed to aid mitigation.

- 8.33 The rear dwellings would be 17m from the rear of the existing dwelling at 4 Shaw Crescent at an oblique angle which would result in some oblique overlooking of the first 10m of the rear garden of 4 Shaw Crescent. Landscaping is proposed to aid mitigation.
- 8.34 Given the developments compliance with the separation distances and heights set out within the Local Plan and the Suburban Design Guide, overall the proposals are not considered to result in significant harm to the outlook, privacy and amenity of the neighbouring properties along Shaw Crescent and Brian Avenue.

8-12 Westfield Avenue

- 8.35 Nos 8-12 Westfield Avenue are situated on the road which runs along the rear of the application site to the south. These dwellings would be set away from the proposed dwellings to the rear of the site by approximately 40m in distance. Given the guidance set out within the Suburban Design Guide and due to the scale, size, subservient design and typology of the rear dwellings, in conjunction with the separation distance, it is considered that there will be minimal harm caused to the outlook and amenity of the neighbouring properties along Westfield Avenue.
- 8.36 The proposed development would not result in undue noise, light or air pollution uncommon to a residential area, as a result of an increased number of occupants on the site. The increased number of units would increase the number of vehicle movements to and from the site, but this would not be significant and would not be overly harmful. Furthermore, the access road is located centrally between the proposed new pairs of semi-detached houses, so would be well separated and buffered from 67 Brian Avenue and 4 Shaw Crescent to either side. Overall it is considered that the proposal complies with the requirements of Policy DM10.6 of the Croydon Local Plan.

Trees, landscaping and ecology

- 8.37 Policy DM10.8 seeks to retain existing trees and vegetation and policy DM28 requires proposals to incorporate hard and soft landscaping. Policy G7 of the London Plan supports this position.
- 8.38 The site contains 1 category A tree, 1 category B tree, 1 category B group, 2 category C trees, 1 category C group and no category U trees. The adjoining site to the sides and rear contain 8 category C trees and 1 category C group in close proximity. 2 category C trees and 2 category C groups of small shrubs and hedges will be removed. No other trees will be removed.
- 8.39 The site provides an opportunity to plant a number of new trees as part of a comprehensive landscaping scheme. It is proposed to plant 17 trees and retain 1 category A tree, 1 group of category B trees and 1 category C tree with various shrubs introduced to the site as part of the landscaping proposals. A tree protection plan has been submitted as part of the application and the mitigation

and protection measures are considered appropriate in relation to minimising the harm to the health of the existing trees. The tree officer raises no objection. A condition has been recommended that the development is carried out in accordance with this plan.

8.40 It is considered that the landscaping proposals would positively contribute to the suburban character of the surrounding area. Overall the proposed landscaping proposals are considered to provide a development that softens the proposed hardstanding to the rear of the site whilst also seeking to enhance the biodiversity of the site.



Figure 7-Proposed Landscaping Plan

8.41 Further details on landscaping and tree protection will be required by condition for the proposal to be considered to comply with Local Plan policy DM10.8.

Ecology

8.42 Updated documents were received during the application period with regards to potential badger holes on site. The ecological investigation undertaken by Darwin Ecology found two holes on site. One is overgrown and one is too small for badgers. It is considered likely to be used by foxes commuting between gardens. No evidence of badger sett entrances were found on site. Following consultation, no objections were received however, conditions have been recommended by the council's ecology specialist. The information within the Preliminary Roost Assessment and Preliminary Ecological Appraisal Survey Report (March 2021) and Phase 2 Bat Emergence/Re-entry Survey Report (July 2021) given sufficient information to determine the application. The submitted documentation gives an indication of how biodiversity net gain can be achieved on site.

- 8.43 Officers are satisfied that the information provided now gives certainty of the likely impacts on protected and priority species and habitats, with appropriate mitigation measures secured. Subject to the recommended conditions the development is considered acceptable in terms of mitigating the impact to wildlife and seeking to achieve biodiversity net gain.

Access, parking and highway safety

- 8.44 The site has a Public Transport Accessibility Level (PTAL) of 0 which indicates extremely poor access to public transport. The site is approximately 600m away from bus stops located on Rectory Park. The London Plan requires *up to* 1.5 spaces per dwelling for outer London location with a PTAL of 0.

Access arrangements and car parking

- 8.44 The existing and proposed access to the site would be from Shaw Crescent. A new vehicular crossover is proposed to facilitate vehicle access to the 11 car parking spaces within the site. Swept path assessments have been undertaken using 4.8m long cars. The two existing crossovers would be removed.
- 8.45 The scheme proposes 11 on-site car parking spaces, equating to (just over) 1.5 parking spaces per dwellinghouse. The proposed car parking provision is considered acceptable for the proportion of family units without leading to a significant overspill of parking on to the public highway.
- 8.46 The *maximum* requirement within the London Plan for a PTAL 0 area would be *up to* 1.5 spaces per dwelling and so, the proposed provision meets the policy requirements in terms of not going above the maximum car parking provision allowed by the London Plan. Representation raised concern over inadequate provision of parking spaces for 7 family dwellings, however as stated, the proposal achieves the maximum London Plan requirements. Furthermore as a response to climate change and sustainable development, new developments should not provide excessive car parking for single family use, especially given that there is public transport provision on Rectory Park.
- 8.47 The applicant does not require planning permission to introduce a new crossover on to an unclassified road. Given the constraints of the site the parking arrangements are acceptable in this instance. A condition has been recommended that requires the submission of details relating to the visibility splay onto Shaw Crescent which, given the central access point with land either side under the applicants control, would be achievable. The appropriate pedestrian and vehicular sightlines are shown on the site plan in terms of leaving the site onto Shaw Crescent.
- 8.48 Within the site, sightlines have not been shown from the bays to the front where there is potential for some conflict with vehicles entering and exiting the site. Given the length of the access road, it is unlikely that vehicles will be travelling at speed within the site. Bushes and boundary treatments can be kept to a maximum height of 0.6m in this location to increase visibility.

- 8.49 A condition will be attached to ensure 20% active vehicle charging points would be provided in line with policy DM30 and Policy T6.1 of the London Plan, with the remainder passive.
- 8.50 A draft Construction Logistics Plan has been submitted however the information is incomplete and so a condition will be recommended for full details pre-commencement.
- 8.51 A financial contribution of £10,500 will be secured through a Section 106 contribution that will go towards improvements to sustainable transport including but not limited to on street car clubs with EVCP's and/or highway changes such as on street restrictions or membership of car club for the units for 3 years. This is required because of the increased traffic generated from the increased number of units.

Cycle parking

- 8.52 Policy DM30 and London Plan policy T5 and Table 10.2 would require provision of a total of 14 cycle parking spaces for residents and given the scale of development, there is no requirement for visitor parking. Cycle parking has been located to the side/rear gardens of the dwellings and given that the application is for single family dwelling houses, this arrangement is considered acceptable.

Refuse / Recycling Facilities

- 8.53 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. The bin stores are located to the front and the rear of the development site and are of an appropriate size to accommodate the required bins. Whilst the refuse stores at the front of the site would be an appropriate location for collection by operatives, the refuse stores to the rear are too far for operatives to collect and it is necessary for occupiers of these houses to move their bins to an area in the middle of the site for collection by operatives. The furthest collection point is 21m from the highway, marginally over the 20m. The collection points are a maximum of 29m from the stores at the front of the rear dwellings, so within the 30m accepted. The location of bulky waste storage has also been provided within the site layout plan and is acceptable.

Flood risk, SuDS and energy efficiency

- 8.54 The site is within flood zone 1 and is at very low risk of surface water flooding. It is likely that infiltration of surface water runoff following redevelopment may be feasible. The parking area and hardstanding will incorporate permeable paving which drain to adjacent soft landscaping areas. The storm event has been modelled for 1 in 100 years plus 40% climate change event. The calculations confirm that the car parking area could feasibly accommodate the required volume of runoff.
- 8.55 A condition requiring details of a Surface Water Drainage Strategy has been recommended and should be submitted to comply with Local Plan policy DM25 and London Plan policy SI13.

8.56 In order to ensure that the proposed development will be constructed to high standards of sustainable design in accordance with Local Plan policy SP6, a condition will be attached requiring the proposed development to both achieve the national technical standard for energy efficiency in new homes (2015) which requires a minimum of 19% CO2 reduction beyond the Building Regulations Part L (2013), and meet a minimum water efficiency standard of 110 litres/person/day as set out in Building Regulations Part G.

Other matters

8.57 The development would be liable for a charge under the Community Infrastructure Levy (CIL).

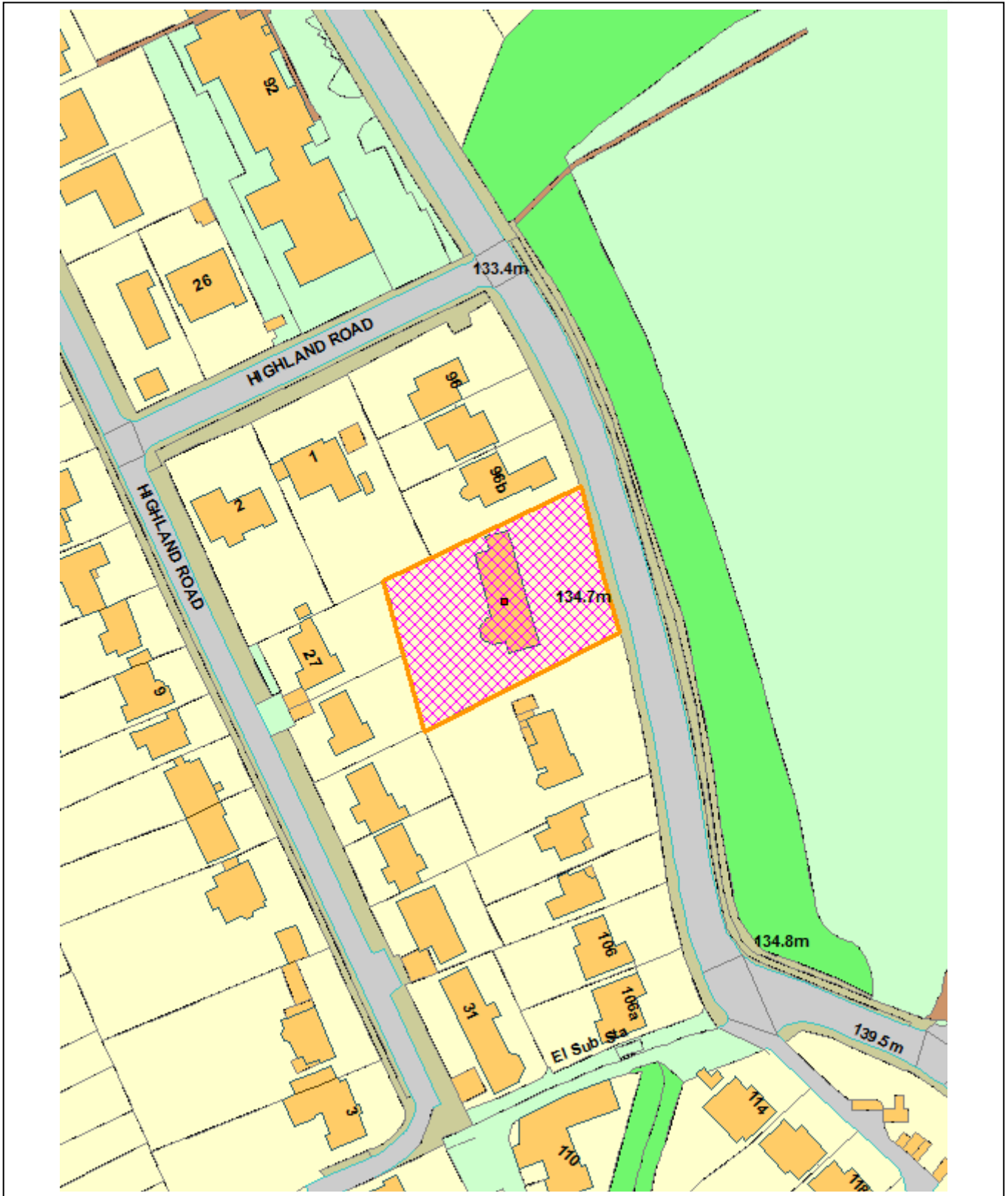
8.58 All other planning considerations including equalities have been taken into account.

Conclusion

8.59 The principle of development is acceptable within this area. The design of the scheme is of an acceptable standard with good quality landscaping. Subject to the provision of suitable conditions the scheme is acceptable in relation to residential amenity, transport, sustainability and ecological matters. Thus the proposal is considered in general accordance with the relevant policies and the Development Plan and is recommended for approval.

8.60 All other relevant policies and considerations, including equalities, have been taken into account.

This page is intentionally left blank



This page is intentionally left blank

1.0 APPLICATION DETAILS

Ref: 21/04358/FUL
 Location: 98 Higher Drive, Purley CR8 2HL
 Ward: Kenley
 Description: Demolition of existing house and erection of a 3-4 storey block comprising 9 flats with 9 car parking spaces and associated landscaping
 Drawing Nos: PL-001-00; 099-14; 100-14; 101-14; 102-14; 103-13; 104-13; 200-12; 201-12; 202-12; 201-12; 202-12; 203-12; 300-12; 400-12; 600-12; 601-12; 602-12.
 Agent: Paul Lewis, Altham Lewis Architects
 Applicant: Lee Clemson, Mantle Developments UK Ltd
 Case Officer: Yvette Ralston

	1 bed	2 beds	3 bed	TOTAL
Existing	0	0	1	1
Proposed (all market housing)	0	2 (2x2b4p)	7 (3x3b5p)	9

Number of car parking spaces	Number of cycle parking spaces
9	19 long stay + 2 short stay

1.1 This application is being reported to Planning Committee in accordance with the following committee consideration criteria:

- Objections above the threshold in the Committee Consideration Criteria
- Referral to committee from Cllr Ola Kolade.

2.0 RECOMMENDATION

2.1 That the Planning Committee resolve to GRANT planning permission subject to the completion of a legal agreement to secure the following:

- A financial contribution of £13,500 for sustainable transport improvements and enhancements.

2.2 That the Director of Planning and Strategic Transport has delegated authority to negotiate the legal agreement indicated above.

2.3 That the Director of Planning and Strategic Transport has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

CONDITIONS

1. Commencement time limit of 3 years
2. Development to be carried out in accordance with the approved drawings and reports

Pre-commencement / prior to above ground works conditions

3. Submission of Construction Logistics Plan
4. Submission of materials / design details
5. Submission of landscaping, child play and communal amenity space details including 9 new trees, details of boundary treatments, and the path to the cycle store.
6. Submission of SUDS details

Pre-occupation / compliance conditions

7. Obscuring of ground floor side facing windows
8. Compliance with Arboricultural Assessment and Tree Protection Plan
9. Compliance with Ecological Appraisal recommendations
10. Submission of details of refuse and cycle storage
11. Provision of car parking as shown on plans, with no boundary treatments above 0.6m in the sightlines.
12. Installation of EVCPs at 20% active and 80% passive
13. Development in accordance with accessible homes requirements
14. Compliance with energy and water efficiency requirements
15. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Transport

INFORMATIVES

1. Granted subject to a Section 106 Agreement
2. Community Infrastructure Levy
3. Code of practice for Construction Sites
4. Highways informative in relation to s278 and s38 works required
5. Compliance with Building/Fire Regulations
6. Construction Logistics Informative (in relation to condition 3)
7. Refuse and cycle storage Informative (in relation to condition 10)
8. Any other informative(s) considered necessary by the Director of Planning and Strategic Transport

3.0 PROPOSAL AND LOCATION DETAILS

Proposal

3.1 The applicant seeks full planning permission for the following:

- Demolition of the existing detached dwelling
- Erection of a block of 9 flats which appears as 3 storeys from the front and 4 storeys from the rear, with a pitched roof.
- 9 car parking spaces on the front forecourt
- Communal amenity space, play space and hard and soft landscaping across the site.

3.2 During the assessment of the application, a parking stress survey was submitted. Amended plans were also received showing an enlarged internal lift, to accommodate cycles for an additional step-free route to the cycle store. Re-consultation was not necessary.

Site and Surroundings

3.3 The application site is located on the western side of Higher Drive on a wide plot which is currently occupied by a two storey detached house in red brick, with a single storey side/rear extension. The site slopes downwards fairly steeply from the front to the back with an approximately 5m change in levels. The site adjoins properties at 27-28 Highland Road to the rear. There are no land use designations on the site. Kenley Recreation Ground on the opposite side of Higher Drive is undesignated open space.

3.4 The property is currently gated, with an existing vehicle crossover adjacent to number 96B and the forecourt is part tarmacked and part landscaped. Trees are present on the boundaries of the site at the sides and rear but none are protected by Tree Preservation Orders (TPOs).

3.5 The wider area is residential and suburban in nature comprising detached properties of various sizes, styles and characters. The site has a Public Transport Accessibility Level (PTAL) of 1b which is extremely poor. The site is classified as being at very low risk of surface water flooding.



Aerial view of site

Planning History

- 3.6 86/00019/P: Erection of single storey rear extension – permission granted 02.01.1986
- 3.7 Pre-application advice given before submission of the current scheme:
- 20/05421/PRE: Demolition of existing dwelling and construction of a 3 and 1/2-storey building comprising 9 flats with the provision of 11 car parking spaces.
 - 20/03682/PRE: Demolition of existing dwelling and construction of a 4-storey building comprising 16 flats with 16 off-street parking spaces
 - 20/02302/PRE: Demolition of the existing detached dwelling and replacement with 26 apartments

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the intensified residential development is acceptable given the residential character of the surrounding area.
- The design and appearance of the development responds successfully to the character of the surrounding area.
- The proposal includes a mix of different sizes of units including 77.8% 3-bed units. All units would provide a good quality of accommodation for future residents.
- The living conditions of adjoining occupiers would be protected from undue harm.
- The quantity of parking provision and impact upon highway safety and efficiency would be acceptable.

5.0 CONSULTATIONS

- 5.1 Discussion with internal consultees within the Planning Service including Spatial Planning (Design), Highways and Ecology has taken place and is referred to within the report as appropriate.

6.0 LOCAL REPRESENTATION

- 6.1 The application was publicised by 6 letters of notification to neighbouring properties. The number of representations received in response to the public consultation are as follows.
- 6.2 No of individual responses: 36; Objecting: 34; Supporting: 2
- 6.3 The following objections were raised in representations. Those that are material to the determination of the application, are addressed in substance in the Material Planning Considerations section of this report.

Objection	Officer comment
<i>Character, massing and design</i>	
Too big, overbearing, visually dominating, incongruous	Addressed in paragraphs 8.5-8.13 of this report
Overdevelopment	
Out of keeping with neighbouring properties	
The existing building is below street level and the parking area would require a new raised mass at the front which would be out of sync with the neighbouring properties which would be inappropriate.	This is necessary to achieve inclusive access. Addressed in para 8.10 of this report.
45 degree line not shown in elevation	This is shown on page 43 of the DAS
Angles from 28 highland road to the proposal should be provided	This is shown on page 35 of the DAS
<i>Site layout and landscape points</i>	
Inadequate information about retaining walls. Unclear if impacts on retaining wall adjoining 96B have been considered. The existing retaining wall can be extended in length but not height.	The retaining wall adjacent to number 96B would need to be extended. This can be dealt with in a Party Wall agreement.
Corner of the development near 96 appears to be 1m lower than existing ground level. Are these levels compatible with the garden levels of no.96?	Excavation at the rear is up to c. 0.75m adjoining the proposed building, with no level change to the rest of the garden. There is a gap of 5m+ to the boundary with number 96B so impacts would be minimal.
The landscaping document shows that 29 Highland Road shares part of a boundary which is incorrect	This has been amended in the updated plans.
Play space is not shown	Play space is shown on all plans within the rear garden. Details would be required by condition.
<i>Impacts on neighbouring amenity</i>	
Overlooking to neighbouring properties	Addressed in paragraphs 8.22-8.29 and 8.30-8.34 of this report
Impacts on privacy, outlook, daylight and sunlight to bungalows on Highland Road (particularly numbers 27-28) due to the slope of the land	
Object to any pruning of trees at the rear as they protect against noise and light pollution to 27-28 Highland Road	
45 degree line from 96B and Highland Road is breached. No daylight and sunlight assessment is provided (as suggested in the pre-app responses)	

and the mass of the building could impact on sunlight	
Building would be higher than 96B so would potentially allow overlooking to the rear garden	
Side windows should be obscured including roof, especially as cil on top floor is 1m	
Transport and highways impacts	
PTAL low so inappropriate location for those without a car	Addressed in paragraphs 8.39-8.49 of this report
Cycling and walking on the hills is difficult	
Will increase traffic, pollution, noise, parking on street	
Cumulative parking impacts from other developments on the road. More on street parking is happening on surrounding roads	
The TA is incorrect as it refers to speed cushions but there are none on Higher Drive	It is agreed that there are no speed cushions on Higher Drive.
Parking for visitors, deliveries, service vehicles etc not considered	Addressed in paragraphs 8.39-8.49 of this report
A parking stress survey must be undertaken and should be done during the day	A parking stress survey has been undertaken.
The site is on a bend and a blind spot. Exiting Highland Road is already dangerous	The appropriate vehicle and pedestrian sightlines are achieved.
There is a care home neighbouring the site that also requires many staff and visitors (traffic impacts).	There is a care home at 92 Higher Drive. Cars do not tend to park on the street on Higher Drive as it is a main road.
TfL have not confirmed whether there is adequate funding for the bus route.	Noted. It is not known when the new bus route may be introduced by TfL.
Flooding impacts	
Sewer flooding will be exacerbated. The sewer passes below 27 Highland Road and has overflowed	Sewers are managed by Thames Water. The applicant would be required to get the relevant permits, authorities, etc from Thames Water prior to commencing work. This is required as part of a standard informative on any planning permission.
No SUDS report so it is difficult to see where the soakaway can be located	
Soakaway could impact properties on Highland Road	
Flood risk mitigation measures have not been outlined	
General queries regarding the developers obligations to liaise with	

Thames Water as part of the application procedure	Addressed in para 8.51 of this report. Full SUDS details would be required by condition.
Impacts on trees	
Loss of trees	Addressed in paragraphs 8.30-8.34 of this report. There is a net increase in trees proposed, T10 and T1 would be retained.
Encroachment onto RPAs of trees of 100 Higher Drive. T10 is on 100 Higher Drive so cannot be removed as proposed	
Would result in encroachment into the RPA of T1 (large historic sycamore tree) in 96B garden on the boundary. There should be no damage to trees and hedging on the northern border with 96B.	
Some of the trees should be graded A or B, not C	
Not been adequately demonstrated that the proposal would protect existing trees	
Quality of accommodation	
It has not been demonstrated that the units will receive adequate light and unit 3 falls below the space standards	Addressed in paras 8-14 – 8.15 of this report. All units would meet space and light standards.
Other matters	
Discrepancy between topography report/tree survey/Land Registry re site boundaries	
Too much development on Higher Drive (85 units to replace 8 houses).	Schemes are assessed on their own merits and the council has housing targets to meet.
Construction impacts. No Construction Logistics Document has been provided or details on groundworks and excavation required	A CLP would be required by condition.
Impacts on infrastructure	A CIL contribution towards local infrastructure would be provided.

6.4 Cllr Ola Kolade has objected to the application on the following grounds and referred it to committee:

- Layout, height, width, scale, design and extent of hardstanding results in overdevelopment that would appear visually dominant, dominant, visually intrusive and incongruous to the character of the area and streetscene.
- Cumulative parking impacts on Higher Drive in this low PTAL area raises safety concerns for residents and road users
- Lack of parking, lack of consideration of Kenly Transport Study, detrimental impacts on highway safety

- Impacts on trees, hedges, vegetation and wildlife
- Impacts on local infrastructure e.g. schools, GPs parking, drainage.

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

- 7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2012).
- 7.2 Government Guidance is contained in the National Planning Policy Framework (NPPF) (2021). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay.
- 7.3 The main planning Policies relevant in the assessment of this application are:

London Plan (2021):

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D12 Fire Safety
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- S11 Improving air quality
- S12 Minimising greenhouse gas emissions
- S13 Energy infrastructure
- S112 Flood risk management
- S113 Sustainable drainage
- T4 Assessing and mitigating transport impacts
- T5 cycling
- T6 car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction

Croydon Local Plan (2018):

- SP2 Homes
- DM1 Housing choice for sustainable communities

- SP4 Urban Design and Local Character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and Climate Change
- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Protecting and Enhancing our Biodiversity
- DM28 Trees
- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development

Supplementary Planning Documents/Guidance

- Croydon Suburban Design Guide SPD (2019)
- Section 106 Planning Obligations in Croydon and their relationship to the Community Infrastructure Levy (2019)
- London Housing SPG (Mayor of London, 2016)
- Accessible London: Achieving an Inclusive Environment SPG (Mayor of London, 2014)
- Play and Informal Recreation SPG (Mayor of London, 2012)
- Character and Context SPG (Mayor of London, 2014)
- Sustainable Design and Construction SPG (Mayor of London, 2014)

8.0 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues relevant in the assessment of this application are as follows:

- Principle of development
- Design and impact on the character of the area
- Quality of accommodation
- Impact on neighbouring residential amenity
- Trees and landscaping
- Biodiversity
- Access, parking and highways impacts
- Flood risk and energy efficiency

Principle of Development

8.2 The existing use of the site is residential and as such the principle of redeveloping the site for residential purposes is acceptable. Policy SP2.1 of the Croydon Local Plan (2018) applies a presumption in favour of development of new homes and Policy SP2.2 states that the Council will seek to deliver 32,890 homes between 2016 and 2036, with 10,060 of said homes being delivered across the borough on windfall sites. London Plan policy D3 encourages incremental densification to achieve a change in densities in the most appropriate way and policy H3 seeks to significantly increase the contribution of small sites to meeting London's

housing needs. Given the above, the principle of intensifying the residential use of the site to provide a total of 9 units is acceptable.

Housing Mix and Tenure

- 8.3 Local Plan Policies SP2.7 and DM1.1 set a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms in order to ensure that the borough's need for family sized units is met, and DM1.2 seeks to avoid a net loss of 3-bed family-sized homes. The proposal is for 7 x 3b5p units and 2 x 2b4p units, which comprises 77.8% 3-beds, satisfying this policy requirement
- 8.4 The proposed scheme on the site for 9 units would not trigger affordable housing contributions in line with policy SP2 or London Plan policy H4 or H5.

Design and impact on the character of the area

- 8.5 The existing building on the site is a suburban 2 storey detached property in red brick with a pitched brown roof. It has a single storey side/rear extension. There is no in principle objection to the demolition of the property. Properties on this side of Higher Drive are generally set below pavement level. The front forecourt slopes down from the pavement level to the property. There are examples of smaller and larger properties in the immediate vicinity with varying degrees of separation between them but the area is generally verdant with a sense of spaciousness.
- 8.6 Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape. Proposals should respect the development pattern, layout and siting; the scale, height, massing, and density; and the appearance, existing materials and built and natural features of the surrounding area. London Plan policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness.
- 8.7 The proposal is for a block of 9 flats spread across 4 storeys (lower ground, ground, first and roof).
- 8.8 The site slopes steeply downwards from the front to the rear. The pavement level is approximately 5m higher than the end of the garden and the entrance of the existing house is approximately 3.3m below the level of the pavement. Currently the front forecourt slopes downwards to the front entrance of the property. However in order to ensure level access to the front of the proposed flatted block, and to avoid the need for an over-engineered undercroft car parking arrangement, the proposal is to raise the level of the front forecourt by up to 2.4m so that it slopes gently downwards from the pavement to the front entrance at ground floor level at a gradient of 1:18.5. This would result in a relatively flat front garden, with a path to the entrance, and car parking space within the front garden. The landscaping at the current and adjacent sites is currently characterised in part by retaining walls, and there are existing retaining walls at the sides of the site which would be extended vertically accordingly. On the

northern boundary there is an existing hedge and ivy screen of 1.6-2.2m high (behind the garage of no.96B), and the proposal would be set 5.9m away from the boundary and screened from the street, resulting in no visual harm from the increased retaining walls. On the southern boundary, there is an existing row of carports/garages which would be replaced by a retaining wall of similar (or lower) height, again resulting in no visual harm. The proposal would utilise the existing lower land level at the rear to accommodate the lower ground floor of the building, meaning that excavation at the rear would be minimal.

- 8.9 The slope of the land and the proposed front garden alterations mean that the proposed building appears as 2 storeys plus roof from the front and 3 storeys plus roof from the rear. The height is appropriate within this context where the majority of properties, including both neighbours, are 2 storeys. The ridge height would be approximately 3m higher than number 96B and 2.7m higher than number 100; approximately one storey taller than the neighbours as supported by the Croydon Suburban Design Guide. There would be an additional lower ground storey visible from the rear, working with the existing sloped topography which follows the guidance in the Suburban Design Guide. The eaves height would drop down on both sides to respond to neighbouring properties. There is no breach of 45 degree lines in elevation.



Proposed Street scene

- 8.10 The application site is wider than neighbouring sites. The proposal is for a building of 23.7m in width, which is less wide than the existing property on the site (28m in total including the single storey side projections). The width of the plot enables generous separation distances at the boundaries to be retained (5.4m to 5.9m on the right hand side and 3.9m to 4.7m on the left hand side). This wide separation distance at the boundaries is positive as 1) it ensures the 45 degree lines drawn from the closest ground floor windows of neighbouring properties are not breached; 2) it maintains the openness and sense of spaciousness which is characteristic of the area; and 3) it enables the built footprint to respect tree roots of trees on the boundaries. The building is considered to be well-positioned on the site with sufficient space to maintain the verdant feel of the area.
- 8.11 In responding to the width of the plot, the frontage of the proposed building would be successfully broken up into 2 distinct parts, with a staggered front building line which responds to neighbouring properties. The 2 halves of the building would be joined by a lowered link element in the middle. This approach helps to break up the massing and means that the scale of the proposed building does not appear out of place in the streetscene. Front facing gables are proposed to respond to the predominant roof style in the vicinity.

- 8.12 In terms of site layout, 9 car parking spaces are proposed in the centre of the large front forecourt. The crossover would be relocated to the centre of the site from its current position on the north side next to number 96B. Car parking would be screened from the road with hedging / trees, and there is space for a sufficient amount of landscaping at the front. A pedestrian route is demarcated on the forecourt, and there is a separate pedestrian / bike route from the pavement to the cycle store which is proposed internally on the left hand side of the building. Hardstanding is proposed to be permeable. A large area of communal amenity space and play space is proposed at the rear, with access internally via the building core at lower ground floor level. The bin store is proposed internally within the building at the front of the site.
- 8.13 The proposed materials are red brick on the right hand side and white brick on the left hand side. Roof tiles would be red/brown. There is a clear rationale to the materiality and the approach is supported. The proposed fenestration, which includes arched lintels at first floor level, is contextually appropriate, and deep window reveals are shown on the plans. Brick detailing has also been considered including projecting soldier courses above ground floor windows. Materiality and detailing has been well considered, and final details will be secured by condition, along with details of guttering and downpipes etc.



Computer Generated Image of proposed development

- 8.14 The proposal is considered to comply with policies SP4.1 and DM10 and London Plan policy D3 as it is of an appropriate height and mass and a high design quality which responds appropriately to its context and contributes positively to the streetscene.

Quality of Accommodation

Internal

- 8.15 London Plan policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments. All proposed units would exceed the space standards and provide a good quality of accommodation. Circulation space and adequate storage space is provided for each unit, and layouts are acceptable.
- 8.16 There are 2 single aspect west facing units (units 4 and 7 at ground and first floor) which have their outlook only towards the rear. These units are not deep and all habitable rooms, i.e. living rooms and bedrooms, are positioned on the rear so these habitable spaces would receive good levels of light, facing west with long reaching views, providing a high standard of amenity. At lower ground floor level, units 1 and 2 are dual aspect as they have side and rear facing windows. Unit 2 has a utility room at the front which only has a small lightwell but this is a non-habitable space so no concerns are raised. An internal daylight and sunlight assessment has been submitted, testing the internal average daylight factor (ADF) of each habitable room within the proposed development. All rooms would meet and exceed the target daylight factor and comply with BRE guidelines.
- 8.17 Side facing windows at ground floor level would be obscured by condition. These windows serve non-habitable spaces (bathrooms or secondary kitchen windows) so could be obscured without affecting the quality of accommodation. Windows at lower ground level would not need to be obscured, those at first floor are high level and positioned in the roof so do not need to be obscured, and those at roof level also do not need to be obscured.
- 8.18 Accessibility requirements have been considered in accordance with London Plan Policy D7. A lift is proposed within the block to provide step free access to the front door of each unit. Unit 1 (3b5p unit on the lower ground floor) is designated as an M4(3) wheelchair accessible unit. Level access would be provided from the pavement to the front entrance via the raised front forecourt, and step-free access is proposed to the rear garden and play space, bin and bike store. Wider car parking bays are also provided on site.

External

- 8.19 Policy DM10.4 of the Local Plan requires provision of high quality private amenity space at a minimum of 5sqm per 1-2 person unit and an extra 1sqm per extra occupant thereafter. The lower ground floor units have private terraces at ground level at the rear. Detail of the boundary treatment between the lower ground floor private amenity spaces and the communal amenity space will be required by condition (hedging / planting is shown on plan but more detail is required). Upper floor units have rear facing balconies which are enclosed at the sides. The depth and size of these spaces all comply with the space requirements.
- 8.20 Policy DM10.5 requires provision of communal outdoor amenity space that is designed to be flexible, multifunctional, accessible and inclusive, and policy DM10.4d requires provision of children's play space in all new flatted developments. A communal garden of 515sqm is proposed at the rear, with play space identified on plan. All of the homes would have views of the rear garden.

Although the overall topography is steep, the rear part of garden is relatively flat and step free access would be provided (with a path gradient of 1:20) from the rear of the building to the play space. Details of the children's play space, use of the amenity space, and wider landscaping proposal will be required by condition.

Fire

- 8.21 A Fire Statement has been provided in line with London Plan policy D12. This outlines that access for a fire appliance would be via the front forecourt; escape would be via the front or the back; Fire Regulations would be complied with in terms of fire alarms etc; risk of fire spread would be minimised by using appropriate fire doors, smoke ventilations etc; and a fire strategy would be periodically updated.
- 8.22 Overall, the proposal is considered to provide a good quality of accommodation for future occupiers in accordance with Local Plan Policies SP2 and DM10 and London Plan policies D6, D7 and D12.

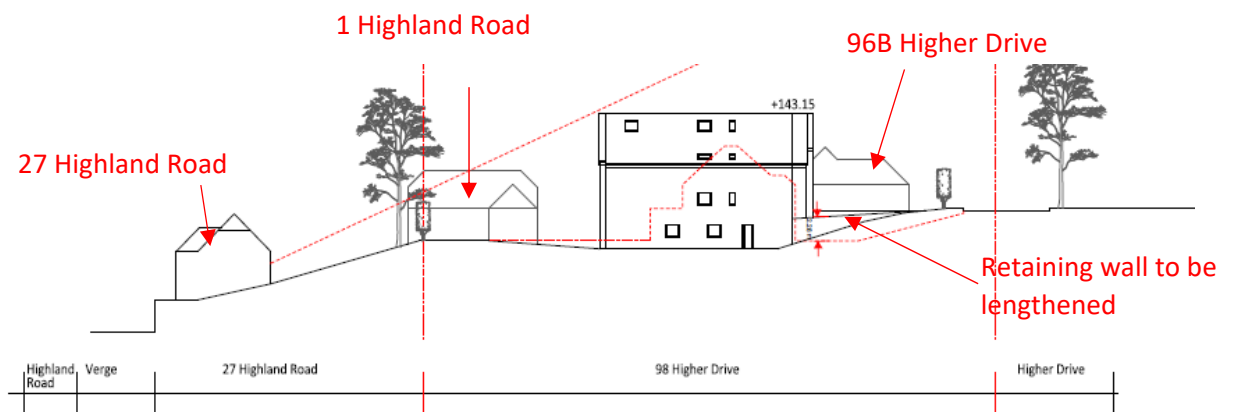
Impacts on neighbouring residential amenity

- 8.23 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels. The nearest residential properties are 96B Higher Drive to the north, 100 Higher Drive to the south and 27-28 Highland Road to the west (rear).
- 8.24 There is no breach of the 45 degree lines from the closest ground floor windows of the neighbouring properties in plan or elevation.
- 8.25 Number 96B (to the north) was granted planning permission in 2004 (ref. 04/02116/P) and built around 2005. It is set forward within its plot and has side windows facing the site. These including 2 x first floor windows (both serving bathrooms) and 1 x ground floor window (which is the second window to a dual aspect dining room) and 1 x ground floor side door and window (servicing a utility room/cloakroom).
- 8.26 The proposed building would be set back from the boundary, similar to the existing arrangement, which would limit its impact on these windows, although in any case those windows are not protected by planning policy as they are either secondary or serve non-habitable rooms. The forecourt would be raised in front of these windows of number 96B, but there is an existing retaining wall and hedge in this location so the impact on these windows would not cause significant harm compared to the existing situation. The retaining wall would need to be lengthened, with details to be secured within the landscaping plan condition. A new tree would also be positioned in this location to provide screening between the car parking area and the windows of 96B.
- 8.27 The 45 degree line drawn from number 96B shows interaction with the lower ground floor patio space to unit 2, however this area is below ground level and is open space so would not have any impact on outlook from number 96B. As there

is no breach of the 45 degree line in plan, this indicates that the mass of the building would not be overbearing to number 96B or number 100 and there is no requirement for a daylight and sunlight assessment to assess impacts on neighbouring properties.

8.28 Number 100 does not have any side windows facing the site. As noted above, the proposed development would fall outside the 45 degree lines measured from the centre of the nearest windows rear elevation, and although not required by the Suburban Design Guide, in this case the same test would also be complied with for the nearest front elevation window.

8.29 Separation distances at the side boundaries of the site are generous as mentioned above, and side facing windows at ground floor level would be obscured to avoid overlooking. Those at first floor would be high level bathroom/kitchen windows only and positioned within the roof, and those at second floor/roof level would be skylights, so these side windows do not raise overlooking concerns and would not need to be obscured. It would be possible to gain views from rear facing windows into neighbouring gardens from rear facing windows but views would not be orientated towards the first 10m of neighbouring gardens so no conflict with Local Plan policy DM10.6c is raised in this regard.



Impacts on 96B Higher Drive and 27 Highland Road.

8.30 Impacts on other surrounding properties have also been assessed.

8.31 Numbers 27 and 28 Highland Road are located to the rear of the site at a lower land level. The diagram above shows that a 25 degree line drawn from the top of the rear window of number 27 would not be breached by the proposed building. This suggests that the mass of the proposed block would not have detrimental daylight impacts on numbers 27 or 28 Highland Road. There is a minimal amount of change proposed to land levels at the rear and there is relatively dense tree coverage at the rear of the garden separating the 2 properties which is proposed to be retained. The separation distance between the rear elevation of the proposed block of flats and the rear of numbers 27 and 28 Highland Road would be 32m, which is well in excess of the 18-21m guidance in the London Plan Housing SPG. There is not considered to be detrimental amenity impacts on these properties.

- 8.32 Number 1 Highland Road is also visible (in the background) on the above diagram (screened behind trees). It is located beyond the northwest corner of the site, and would be in excess of 25m away from the proposed building. No harmful amenity impacts on this property are identified.
- 8.33 Overall, the proposed mass of the block is not considered to have an overbearing impact on neighbouring properties on either side or to the rear. No detrimental impacts on daylight to neighbouring properties identified. Obscuring of the appropriate windows (ground floor only) by condition would mitigate any potential overlooking and privacy concerns. The retention of boundary trees is also useful in mitigating amenity impacts. The proposal complies with Local Plan policy DM10.6.

Trees and landscaping

- 8.34 Policy DM10.8 seeks to retain existing trees and vegetation and policy DM28 requires proposals to incorporate hard and soft landscaping. An Arboricultural report has been submitted assessing impacts on trees on and adjacent to the site. None of the trees on or adjacent to the site are protected by TPO. There is a TPO tree on the corner of Higher Drive and Highland Road in the front garden of 96 Higher Drive (TPO 33, 1991) but this is some distance away from the site.
- 8.35 There are 7 trees and 1 group on the site, plus 3 on the boundaries which are located within neighbouring properties (T10 and T11 within 100 Higher Drive and T1 within 96B Higher Drive). The proposal would result in the removal of 1 small birch tree on the site (T4 – category C ornamental tree). Replacement planting of 9 new trees is proposed as mitigation so the removal of this tree is acceptable in principle and the scheme would result in an overall net increase in the number of trees on the site.
- 8.36 The proposal would result in encroachment into the Root Protection Areas (RPAs) of neighbouring trees, notably a 14% incursion into T10 which is a large Sycamore tree in the rear garden of 100 Higher Drive with a large RPA. A 5% incursion into the RPA of T11 (also within the rear garden of 100 Higher Drive) is also proposed. The Arb report outlines that T10 has a vigorous growing condition and with an initial manual dig and root protection exercise, the proposed encroachment is not considered to impose lasting adverse effects upon this tree, nor on T11. No dig zones are proposed on the northern and southern boundaries of the site to protect the roots of boundary trees. Trees on the rear boundary are not proposed to be impacted and a Construction Exclusion Zone is shown on the Tree Protection Plan. The proposed retention of these boundary trees helps to provide additional screening between the site and neighbouring properties.
- 8.37 The proposed landscaping comprises areas of amenity grass, semi-natural grassland, new trees plus areas of hedging/shrubs alongside paths. Seating is proposed in the rear communal garden as well as play space. An Urban Greening Factor calculation has been provided demonstrating that the proposal would achieve a score of 0.78 which would exceed the requirements of London Plan policy G5 (with an indicative target of 0.3). Permeable paving is proposed for

paths and hardstanding across the site. Further landscaping details including details of species, density etc of planting will be required by condition.

- 8.38 The proposal is considered, subject to conditions, to comply with Local Plan policy DM10.8 and DM28 and London Plan policy G5.

Ecology

- 8.39 Local Plan policy DM27 and London Plan policy G6 seek to protect and enhance biodiversity and outline that proposals should aim to secure net biodiversity gain. A Preliminary Ecological Appraisal (PEA) and Bat Survey Report has been submitted. The PEA and Phase 1 Habitat Survey identified only habitats of low ecological value on the site. There was no evidence of breeding birds, but appropriate potential habitats for birds were identified as well as vegetative features suitable for foraging bats. A yew tree on the south west corner of the site (T4) was identified as having low potential to support roosting bats but this tree is proposed to be retained and is within the Construction Exclusion Zone referred to above. No evidence of badgers, newts, reptiles or hedgehogs were found but there were some appropriate habitats for these species so precautionary recommendations are proposed.
- 8.40 The property on the site was identified as having moderate suitability to support roosting bats so 2 x Bat Emergence Surveys were carried out, one at dusk in August 2021 and one at dawn in September 2021. No bats were recorded emerging from the building and bat activity within the application site was low with very limited commuting and no foraging.
- 8.41 Recommendations are proposed including undertaking works outside of bird breeding season, bat sensitive lighting, and precautions for foraging badgers, reptiles and hedgehogs. An integrated bat box is recommended within the Bat Emergence Survey.
- 8.42 London Plan policy G6 states that development proposal should aim to secure net biodiversity gain. The Council's Ecological advisor has acknowledged that proposal would provide a genuine biodiversity gain and are supportive of the scheme subject to a condition requiring conformity with the biodiversity enhancements / mitigation provided within the ecological appraisal. The proposal is considered to comply with Local Plan policy DM27 and London Plan policy G6.

Access, Parking and Highway Safety

Access arrangements

- 8.43 The site has a Public Transport Accessibility Level (PTAL) of 0 which indicates extremely poor access to public transport. The site is approximately 650m from the nearest bus stop on Old Lodge Lane (Route 455 to central Croydon), which falls just outside the PTAL calculation 640m walking distance such that no.96 has a PTAL of 1A. It is approximately 18 minutes' walk from Kenley and Reedham stations, albeit with steep topography, and although these are further than the PTAL calculation's 960m distances, it would be possible for some journeys (for example, regular commutes) to be made using these stations.

- 8.44 There is an existing vehicle crossover on the north side of the site, adjacent to number 96B with a vehicle gate and a driveway that slopes steeply down towards the house. The proposal is to reposition the crossover so that it is in the centre of the site. As previously discussed, the forecourt would be raised so that level access is provided from the pavement to the front door (1:18.5 gradient). The vehicle access point would be 5m wide. The proposed width and location of crossover complies with highways guidance and would be agreed as part of a S278 agreement. Vehicle and pedestrian sightlines are shown on the site plan to the required standards. A condition will be attached to ensure that planting etc in the sightlines remains below 0.6m in height. It is not considered that the proposed development would impact upon highway safety.
- 8.45 The trip generation assessment within the Transport Statement indicates that the proposed 9 units would generate up to 1 delivery/servicing vehicle visit per day as a maximum. There would be space on the front forecourt for delivery vehicles etc. or they could stop on the road outside.
- 8.46 A 1.2m wide pedestrian path would be delineated alongside the vehicle access. In addition, a separate pedestrian path to the bicycle store is proposed on the south side of the site. This would take residents from pavement level to the Lower Ground Floor level and would have a gradient of 1:6 which is steep. There is however, alternative access via the front door/lift (with an enlarged lift to fit a bike) if residents prefer not to walk their bikes down the path. Details of this path would be required as part of the landscaping condition.

Car parking

- 8.47 London Plan policy T6.1 would permit up to 1.5 spaces per unit which equates to a maximum of 13.5 spaces. 9 spaces are proposed on site which is 1 per unit.
- 8.48 A parking stress survey has been undertaken in accordance with the Lambeth methodology. 2 parking beat counts were carried out overnight (when residents' parking demands are greatest) on 02/02/22 and 03/02/22 at approximately 1:30am. The survey area comprised Higher Drive and parts of Highland Avenue within 200m of the site. There are no parking restrictions on the local roads but cars do not tend to park on Higher Drive because it is a main road. Parking stress was found to be 12% which is low.
- 8.49 Several developments have been granted planning permission on Higher Drive recently, and the transport survey accounted for all approved developments within 200m of the site, approved within the last 5 years:
- 78 Higher Drive 19/01837/FUL
 - Highland Road 19/03074/FUL
 - 90A Higher Drive 19/04119/FUL
 - 81 Higher Drive 18/03241/FUL
- 8.50 Whilst it is acknowledged that the car parking provision is below the maximum that would be permitted under London Plan policy T6.1, there is no justification for a higher provision of car parking given the low parking stress in the vicinity. It

is not sustainable to over-provide car parking spaces and will not support the shift towards greener modes of travel or encourage reduced car ownership.

- 8.51 The tracking diagrams within the Transport Statement confirm that manoeuvring into and out of the parking spaces can be achieved safely. Spaces 6 and 7 closest to the front door are labelled 'universal access' and these would be suitable for wheelchair users. An electric vehicle charging point is also shown on the plans and a condition would be attached to ensure that 20% active and 80% passive charging points are provided in line with policy DM30 and London Plan policy T6.1.
- 8.52 A financial contribution of £13,500 would be secured via S106 agreement to contribute towards sustainable transport initiatives in the local area in line with Local Plan policies SP8.12 and SP8.13. A condition would also be attached to require submission of a Construction Logistics Plan (CLP) and a condition survey of the surrounding footways and carriageway prior to commencement of works on site.

Cycle parking

- 8.53 Policy DM30 and London Plan policy T5 would require provision of a total of 18 cycle parking spaces for residents plus 2 visitor spaces. The cycle store is at lower ground floor level, accessed via the path on the south side of the building (or internally via the lift). There is space for 19 bicycles proposed in the cycle store and 2 spaces externally for visitors. The size of the store is sufficient and final details of cycle parking, including types of stands, layouts etc would be required by condition.

Waste / Recycling Facilities

- 8.54 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. The refuse store is located at ground floor level with access via a separate door on the front of the building. The drag distance to the highway for operatives would be 15m which complies with guidance. The bins are proposed to be 2 x 1100L Eurobins and 2 x 240L wheelie bins which is acceptable.

Flood Risk and Energy Efficiency

Flood risk

- 8.55 The site is within flood zone 1 and at very low risk of surface water flooding. The proposal includes the use of permeable paving for all hard surfaces, green landscaping, rainwater butts plus a soakaway in the rear garden. Full surface water drainage details will be required by condition in accordance with Local Plan policy DM25 and London Plan policy SI13.

Energy efficiency

- 8.56 In order to ensure that the proposed development is constructed to high standards of sustainable design in accordance with Local Plan policy SP6, a condition would be attached requiring the proposed development to both achieve

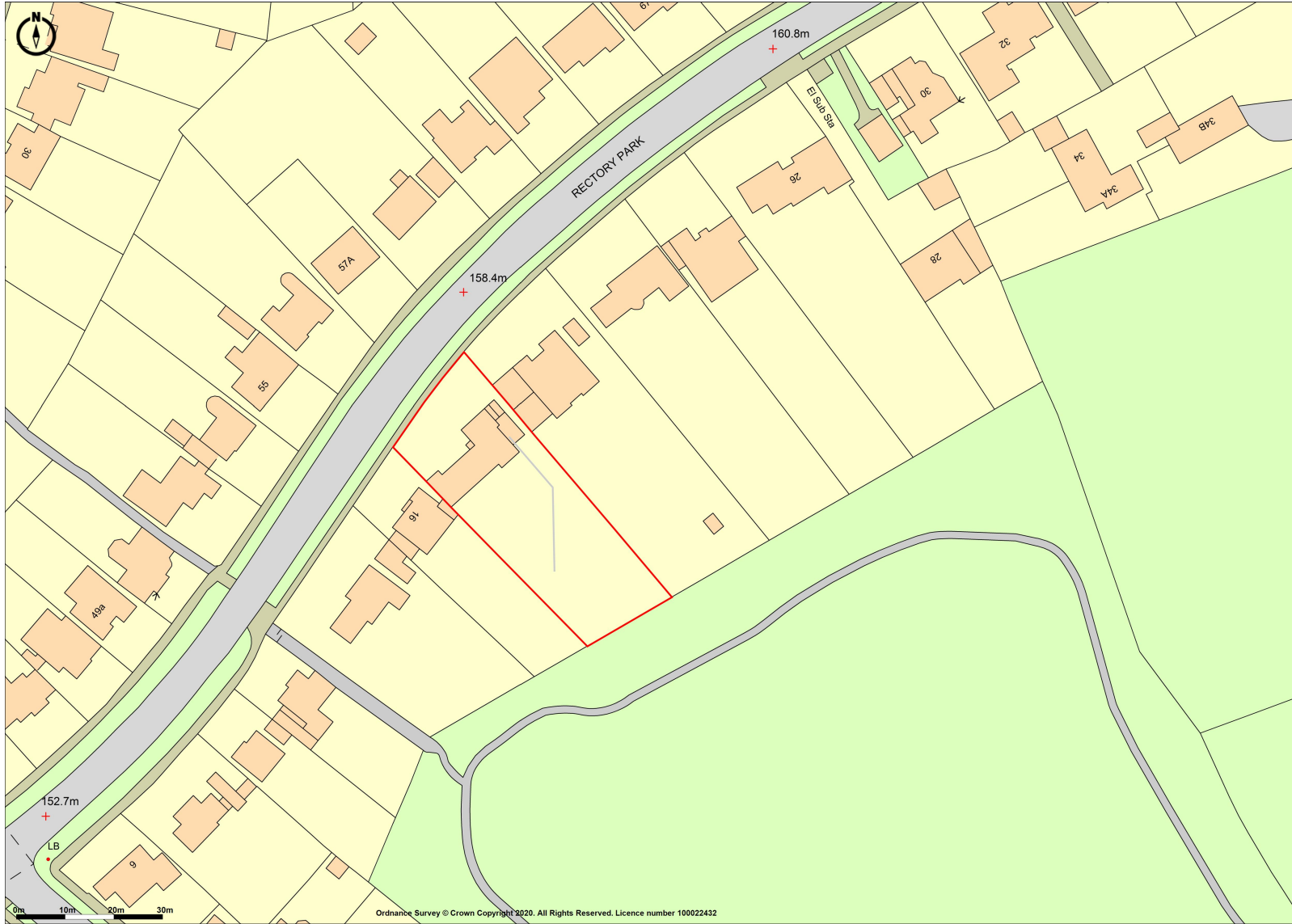
the national technical standard for energy efficiency in new homes (2015) which requires a minimum of 19% CO2 reduction beyond the Building Regulations Part L (2013), and meet a minimum water efficiency standard of 110 litres/person/day as set out in Building Regulations Part G.

Conclusion

- 8.57 The provision of 9 new residential units in this location is acceptable in principle. The site is wide and the proposed mass and positioning of the building is acceptable. The design is considered to have been well thought through and to represent a positive contribution to the streetscene. Access arrangements, notably the proposed raising of the front forecourt, is appropriate to achieve inclusive access. The quality of accommodation is acceptable. The provision of 1:1 car parking is acceptable given the need to encourage sustainable transport. Impacts on trees and ecology are acceptable. Landscaping and SUDS details will be required by condition.
- 8.58 All material considerations have been taken into account, including responses to the public consultation. Taking into account the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning policy terms.

Other matters

- 8.59 The development would be liable for a charge under the Community Infrastructure Levy (CIL).
- 8.60 All other planning considerations including equalities have been taken into account.



Ordnance Survey © Crown Copyright 2020. All Rights Reserved. Licence number 100022432

This page is intentionally left blank

1.0 APPLICATION DETAILS

Ref: 21/03703/FUL
 Location: 18 Rectory Park, South Croydon CR2 9JN
 Ward: Sanderstead
 Description: Demolition of existing property and construction of a block of 5 flats plus 3 houses with associated access, car parking and landscaping (amended description).
 Drawing Nos: 920:1151/PL101B; 102A; 103A; 104A; 105A; 106; S20/7928/01
 Agent: N/A
 Applicant: Mr James Caldwell, Turnbull Land Ltd
 Case Officer: Yvette Ralston

	1 bed	2 beds	3 bed	TOTAL
Existing	0	0	1	1
Proposed (all market housing)	2 (2x1b2p)	3 (2x2b3p, 1x2b4p)	3 (3x3b6p)	8

Number of car parking spaces	Number of cycle parking spaces
10	18 (16 long stay, 2 visitor)

1.1 This application is being reported to Planning Committee in accordance with the following committee consideration criteria:

- Objections above the threshold in the Committee Consideration Criteria
- Referral to committee from Cllr Lynne Hayle and Cllr Yvette Hopley, both Sanderstead ward.

2.0 RECOMMENDATION

2.1 That the Planning Committee resolve to GRANT planning permission subject to the completion of a legal agreement to secure the following:

- A financial contribution of £12,000 for sustainable transport improvements and enhancements.

2.2 That the Director of Planning and Sustainable Regeneration has delegated authority to negotiate the legal agreement indicated above.

2.3 That the Director of Planning and Sustainable Regeneration has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

CONDITIONS

1. Commencement time limit of 3 years
2. Development to be carried out in accordance with the approved drawings and reports

Pre-commencement / prior to above ground works conditions

3. Submission of Construction Management Plan and Construction Logistics Plan
4. Submission of a Construction Environmental Management Plan for biodiversity (CEMP: Biodiversity) including grassland removal strategy, and vegetation clearance works to be carried out outside of the nesting bird season (September-March, inclusive).
5. Submission of materials / design details
6. Submission of landscaping, child play and communal amenity space details including 9 replacement trees.
7. Submission of final SUDS details

Pre-occupation / compliance conditions

8. Compliance with Arboricultural Assessment and Tree Protection Plan
9. Compliance with Ecological Appraisal recommendations
10. Submission of Biodiversity Enhancement Strategy including 9 bat boxes, ridge tiles with maintained crevices, native species etc.
11. Wildlife Sensitive Lighting Design Scheme
12. Submission of details of cycle storage and refuse storage including green roofs
13. Provision of car parking as shown on plans, with no boundary treatments above 0.6m in the sightlines, plus submission of details of the wheelchair accessible space for F1.
14. Installation of EVCPs at 20% active and 80% passive
15. Development in accordance with accessible homes requirements: F1 as M4(3); H1, H2, H3, F2 as M4(2); F3, F4, F5 as M4(1).
16. Compliance with energy and water efficiency requirements
17. Compliance with requirements of the Fire Statement
18. Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration

INFORMATIVES

1. Granted subject to a Section 106 Agreement
2. Community Infrastructure Levy
3. Code of practice for Construction Sites
4. Highways informative in relation to s278 and s38 works required
5. Compliance with Building/Fire Regulations
6. Construction Logistics Informative (in relation to condition 3)
7. Refuse and cycle storage Informative (in relation to condition 9)
8. Thames Water informative (as per consultation response)
9. Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration

3.0 PROPOSAL AND LOCATION DETAILS

Proposal

3.1 The applicant seeks full planning permission for the following:

- Demolition of the existing detached dwelling
- Erection of a block of 5 flats with 1 house annexed at the front of the site, plus 2 detached houses at the rear of the site (8 units total).
- A new access road on the south west side of the site.
- 10 car parking spaces
- Communal amenity space and play space for the 5 flats, private gardens for the 3 houses, with hard and soft landscaping across the site.
- Bin and cycle storage

3.2 During the assessment of the application, amendment to the site layout have been made, most notably the removal of 1 house at the rear. This has resulted in a revised design for the houses which are now proposed to be detached rather than a terrace of 3. The number of car parking spaces has increased by 1 however the revised positioning of the car parking has enabled the provision of a larger amenity space for the flats and a reduction in the overall amount of hard standing.

3.3 Re-consultation on the amendments took place between 04/01/22 and 27/01/22.

3.4 In addition, a detailed Flood Risk Assessment and SUDS report was received by the Council in February 2022. This is referred to as appropriate below.

Site and Surroundings

3.5 The application site is located on the south eastern side of Rectory Park, adjoining Sanderstead Recreation Ground to the rear. The site comprises a two storey detached house set within a large plot. The site is within an archaeological priority area and Sanderstead Recreation Ground is designated Metropolitan Green Belt.

3.6 The site has an existing vehicle crossover on the south side in proximity to a large street tree. The front forecourt is part tarmacked and part grass. Trees are present in the rear garden but none are protected by TPOs. The topography of the site is relatively flat

3.7 The wider area is residential and suburban in nature comprising detached and semi-detached properties of various styles and characters. Rectory Park is a classified road (A2022). The site has a Public Transport Accessibility Level (PTAL) of 1b which is extremely poor. The site is classified as being at very low risk of surface water flooding



Aerial view of site

Planning History

3.8 None on the site. Relevant history on nearby sites is below

Address	Reference	Description	Decision	Date
20 Rectory Park (adjacent to the north east)	20/01908/OUT	Outline planning permission for the demolition of existing outbuildings and alterations to the existing vehicular access with erection of 6 new residential units (1 x 3b4p, 4 x 2b3p and 1 x 1b2p) at the rear with associated landscaping, parking, cycle and refuse storage	Refused	09.06.2020
59 Rectory Park (opposite)	18/05383/FUL	Demolition of the existing garage and alterations to the existing vehicular access with erection of a two storey building to provide 6 units at the rear including a provision of associated landscaping,	Granted	31.05.2019

		parking, cycle and refuse storage		
--	--	-----------------------------------	--	--

3.9 A pre-app took place before submission of the current scheme:

21/00137/PRE: Demolition of the existing property and erection of 4 x houses and a 3-storey block of 5 flats with associated access and parking.

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the intensified residential development is acceptable given the residential character of the surrounding area.
- The proposal includes a mix of different types and sizes of units including 3 houses and a total of 37.5% 3-bedroom (or more) units. All units provide a good quality of accommodation for future residents.
- The design and appearance of the development responds successfully to the character of the surrounding area.
- The living conditions of adjoining occupiers would be protected from undue harm.
- The quantity of parking provision and impact upon highway safety and efficiency would be acceptable.

5.0 CONSULTATIONS

5.1 Discussion with internal consultees within the Planning Service including Spatial Planning (Design), Highways, Trees and Ecology has taken place and is referred to within the report as appropriate.

5.2 Thames Water was consulted following representations from residents raising concerns around the impact of the development on flooding in the area. Thames Water stated that they had no objection to the proposal subject to use of appropriate informatives. Informatives will be attached to require the applicant to:

- Demonstrate which measures will be undertaken to minimise groundwater discharges into the public sewer.
- Follow the sequential approach to the disposal of surface water

6.0 LOCAL REPRESENTATION

6.1 The application was publicised by 6 letters of notification to neighbouring properties. The number of representations received in response to the 2 public consultations are as follows.

6.2 No of individual responses: 45; Objecting: 44; Supporting: 1

6.3 The following objections were raised in representations. Those that are material to the determination of the application, are addressed in substance in the Material Planning Considerations section of this report.

Objection	Officer comment
<i>Character and design</i>	
Too large, too dense, too many dwellings, overdevelopment	Addressed in paragraphs 8.5-8.17 of this report
Contemporary design not in keeping	
Development at the rear should not be allowed. Rear houses are not subservient	
Height of front building at 10.13m will dwarf neighbouring properties and those opposite. 3 storeys is incongruous in the street.	
The rear houses overlook Sanderstead Recreation Ground which would detract from the visual amenity of the Rec.	
Bin store screening inadequate	The proposed bin store has been relocated from the original plans, and would be screened from the street by hedging. A green roof is also recommended.
Proposed levels have not been shown on the plans so the officer's claim regarding lack of retaining walls on the boundaries is unsubstantiated	The site is flat so there would be no requirement for retaining walls
<i>Highways impacts</i>	
Inadequate car parking provided	Addressed in paragraphs 8.44-8.52 of this report
Adverse impact on traffic, parking and pollution on this busy road	
The site is on a bend. Egress sightlines compromised at crossover so causes risk to pedestrians and school children crossing the road and other vehicles	The crossover is to be retained in the same place as existing. Appropriate sightlines are achieved. A condition will require no obstructions above 0.6m in the sightlines (within the site).
Transport assessment inadequate as it does not assess additional demand on public transport	The submitted assessment is proportionate to the impacts and size of the scheme. The proposal is unlikely to create significant additional demand on public transport.
Refuse collection point close to road which will mean servicing from road and congestion	Servicing will take place from the road, as is currently the case. This is not unusual and would not cause congestion out of the ordinary.

Space for mobility scooters and motorcycles is not provided	This is not a policy requirement
No space for bulky waste is proposed	This will be required as part of the refuse and recycling condition
Impacts on landscape and biodiversity	
Will destroy mature gardens and trees	Addressed in paragraphs 8.34-8.43 of this report
Potential for bats and nesting birds to be present in the trees and badgers on the site.	
Concreting over the back garden	
Flooding impacts	
No SUDS details	Addressed in paragraphs 8.56-8.58 of this report
No consideration of impact on water supply or pressure to neighbours	
Area at risk of flooding and sewage overflow	
Impacts on neighbouring amenity	
Noise and overlooking to neighbours	Addressed in paragraphs 8.27-8.33 of this report
The rear houses look towards neighbours	
The road to the recreation ground will become overcrowded	
Light pollution	
Refuse collection lorries on the access road will cause noise and disturbance to neighbours	
Other	
Will set precedent for overdevelopment	Each application is assessed on its own merits
Crime	The proposal benefits from passive surveillance, lighting is to be secured by a condition, and it is not likely to introduce new opportunities for crime.
No need for flats	The Croydon Plan identifies a significant need for new homes, which includes flats.
Impacts on local infrastructure such as educational and medical facilities	A CIL contribution will be required
Area is an archaeological priority area	This is acknowledged, but the house has previously been redeveloped for housing, and this designation does not in itself prevent development.
Area is in the green belt	The site is not in the Green Belt. The recreation ground to the rear is Metropolitan Green Belt.

6.4 The Riddlesdown Residents Association objects to the proposal on the following grounds. Objections were received on 8th August 2021 and 5th January 2022 plus an updated objection on 4th February 2022:

- Flood Risk Assessment is limited
- Serious concern is reiterated regarding the impact of 8 additional units on the Brancaster Lane foul sewer. The foul sewer in the centre of Rectory Park flows in a southerly direction down Rectory Park and a smaller sewer in Brancaster Lane. Sewage flooding often takes place in a property at the southern end of Brancaster Lane. Regular surface water flooding takes place under the rail bridge in Lower Barn Road and on Mitchley Avenue. This has continued throughout 2021.
- This development will increase pressure on the foul water sewer system in Riddlesdown and the Council and Thames Water are not improving this.
- There are a number of new flats draining into this sewer (net gain of 134 or 179 if all undetermined are approved).
- The applicant has not undertaken percolation tests for the soakaways. This should not be left as a planning condition.
- All planning applications that drain into the Brancaster Lane sewer should be refused until the matter is resolved.
- An application at 77 Rectory Park (21/02875/FUL) was recently refused and one of the refusal reasons was flood risk
- Works to alleviate surface water flooding has not been entirely successful.

6.5 *Officer note: A detailed SUDS Strategy has now been submitted. Refer to paragraphs 8.56 – 8.62 below for details.*

6.6 The Sanderstead residents association objects to the proposal on the following grounds:

- An application at 20 Rectory park (20/01098/OUT) was refused in June 2020 on grounds of its massing.
- The pre-app report states that 23m between the front block and rear block does not raise concerns in terms of inter-overlooking. What is the different between this site and number 20?
 - *Officer note: Planning Officers regularly refuse applications for development which does not comply with the development plan. Application 20/01098/OUT (20 Rectory Park), proposed 6 units at the rear with significantly increased hard standing, which was materially different to the proposed development.*
- Sanderstead has reached saturation point in terms of flats
- No assessment of additional transport demand. Concern about overspill parking on Rectory Park which could cause accidents.
- Flood Risk Assessment is limited and shows no information from Thames Water

6.7 Cllr Lynne Hayle has objected to the application on the following grounds and referred it to committee:

- Inadequate local foul water sewers will cause further foul water discharge flooding in Riddlesdown
- Overdevelopment of this site

- The proposed scheme fails to respect local street scene and local character
- Loss of trees and mature hedges

6.8 Cllr Yvette Hopley has objected to the application on the following grounds and referred it to committee:

- Impacts on flooding, sewage and surface water
- Unclear if the ground floor flat meets M4(3) standards
- A lift should be introduced as occupiers may be elderly people downsizing in the area.

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2012).

7.2 Government Guidance is contained in the National Planning Policy Framework (NPPF) (2021). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay.

7.3 The main planning Policies relevant in the assessment of this application are:

London Plan (2021):

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D12 Fire Safety
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- S11 Improving air quality
- S12 Minimising greenhouse gas emissions
- S13 Energy infrastructure
- S112 Flood risk management
- S113 Sustainable drainage
- T4 Assessing and mitigating transport impacts

- T5 cycling
- T6 car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction

Croydon Local Plan (2018):

- SP2 Homes
- DM1 Housing choice for sustainable communities
- SP4 Urban Design and Local Character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and Climate Change
- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Protecting and Enhancing our Biodiversity
- DM28 Trees
- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development

Supplementary Planning Documents/Guidance

- Croydon Suburban Design Guide SPD (2019)
- Section 106 Planning Obligations in Croydon and their relationship to the Community Infrastructure Levy (2019)
- London Housing SPG (Mayor of London, 2016)
- Accessible London: Achieving an Inclusive Environment SPG (Mayor of London, 2014)
- Play and Informal Recreation SPG (Mayor of London, 2012)
- Character and Context SPG (Mayor of London, 2014)
- Sustainable Design and Construction SPG (Mayor of London, 2014)

8.0 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues relevant in the assessment of this application are as follows:

- Principle of development
- Design and impact on the character of the area
- Quality of accommodation
- Impact on neighbouring residential amenity
- Trees and landscaping
- Biodiversity
- Access, parking and highways impacts
- Flood risk and energy efficiency

Principle of Development

- 8.2 The existing use of the site is residential and as such the principle of redeveloping the site for residential purposes is acceptable. Policy SP2.1 of the Croydon Local Plan (2018) applies a presumption in favour of development of new homes and Policy SP2.2 states that the Council will seek to deliver 32,890 homes between 2016 and 2036, with 10,060 of said homes being delivered across the borough on windfall sites. London Plan policy D3 encourages incremental densification to achieve a change in densities in the most appropriate way and policy H3 seeks to significantly increase the contribution of small sites to meeting London's housing needs. Given the above, the principle of intensifying the residential use of the site to provide a total of 8 units (5 flats and 3 houses) is acceptable.
- 8.3 Policies SP2.7 and DM1.1 set a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms in order to ensure that the borough's need for family sized units is met, and DM1.2 seeks to avoid a net loss of 3-bed family-sized homes. The proposal is for 3 x 3b6p houses and 2 x 1b2p, 2 x 2b3p and 1 x 2b4p flats for a total of 8 units. This mix comprises 37.5% 3-beds and offers a good mix of different sizes and types of units.
- 8.4 The proposed scheme on the site for 8 units would not trigger affordable housing contributions in line with policy SP2 or London Plan policy H4 or H5.

Design and impact on the character of the area

- 8.5 The existing building on the site is a 2 storey detached property in white render and hung tile with a pitched roof including a front facing gable and a hipped element. There are single storey side projections on either side. The building itself does not hold special architectural merit and there is no in principle objection to its demolition (subject to replacement to avoid net loss of housing).
- 8.6 Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape. Proposals should respect the development pattern, layout and siting; the scale, height, massing, and density; and the appearance, existing materials and built and natural features of the surrounding area. London Plan policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness.
- 8.7 The proposal is for 1 building at the front of the site which would comprise a flatted block and an annexed house, and 2 detached dwellings at the rear. The principle of backland development in suburban locations would comply with the Suburban Design Guide provided it is not detrimental to the character of the area, and this must be assessed on a site by site basis. In this instance, the site is relatively large and it is considered that sufficient open / green space is retained around the edge of the properties and in the centre of the site to maintain the verdant character of the area. The proposed properties at the rear are subservient to the front block and there is a separation distance of 20.5m between the front block and the rear dwellings, which would accord with guidance in the Suburban Design Guide which suggests a minimum of 15m.

- 8.8 The quantity of development at the rear of the site has been reduced as part of the assessment of the application, down from 3 houses to 2, alongside a reduction in the amount of hard standing. The rear houses are 2 storey detached houses with ridge heights approximately 1.65m lower than the front block and smaller footprints. They are therefore considered to be appropriately subservient.
- 8.9 There are examples of backland development in the vicinity. For example, the properties at 28, 34, 34A and 34B to the east are a form of backland development as these properties are set behind the street facing properties (numbers 30 to 36) on land that would historically have formed part of the frontage properties. Opposite the application site, construction is underway on a backland scheme at to the rear of 57A and 59 Rectory Park for the construction of a block of 6 flats (ref: 18/05383/FUL). The principle of backland development is therefore already partially established in this location. It is considered that the site is large enough to be able to accommodate the proposal. The size of the private gardens for the 3 houses are clearly smaller than the immediately neighbouring gardens however they are not dissimilar in size to the gardens for 28-38 Rectory Gardens where there are backland units present (28, 34, 34A and 34B). The proposed backland development is not considered to be out of character in this location.
- 8.10 The separation distance from the rear of the houses to the site boundary at the rear, where the site adjoins Sanderstead Recreation Ground, is 6m. The houses are 2 storeys plus roof with a total height of 8.7m and are not considered to have a detrimental impact on the openness of the Recreation Ground (Metropolitan Open Land) at the rear. The separation distance to the northern side site boundary from H2 is 1.6m and the separation distance to the southern side site boundary from H3 is around 3.5m across the car parking space.
- 8.11 Access to the rear houses would be via a new access road on the south side of the site. H3 will be visible from Rectory Park when viewed down the access road at an angle which will create an appropriate degree of passive surveillance. An area of hard standing and car parking would be positioned in the centre of the site. The access road and car parking introduce a notable amount of additional hard standing to the site, however locating the majority of the car parking in the centre of the site means that it does not dominate the frontage and allows the retention of a green frontage facing Rectory Park. As mentioned, it is considered that a sufficient green space is retained across the site as a whole, with each house having access to a reasonable sized private garden and a sufficient amount of communal amenity space for the flats.
- 8.12 In terms of height and massing, the front flatted block, including the annexed house, is proposed to be 3 storeys in height with the third floor contained within the roof. The ridge height is approximately 1.4m higher than number 20 to the north (which is a bungalow with and a large roof), and 1.9m to 2.8m higher than the ridge height of number 16 to the south. The block respects the height of neighbouring properties on Rectory Park which are generally 2 storey detached properties plus roof, although they vary in size, styles and materials. The set back of the annexed house on the front block means that the proposed front building line responds to neighbouring properties and the angle of the road, and also makes the attached house appear subservient which is supported in principle.

45 degree lines from the closest ground floor windows of neighbouring properties are not breached in plan or elevation by the proposed building at the front.

8.13 Properties along the street are generally separated by single storey garages. The existing property on the application site has a wide frontage at ground floor level of over 20m in total including the single storey, pitched roof side projections on either side. The proposed building at the front has a reduced width of 16m. The spaciousness on the site that is characteristic of the area is retained in the proposed scheme; the separation distance to number 16 would 7.8m across the access road. The building mass would be closer to number 20 than the existing situation as there would no longer be single storey side projection on this side, however the separation distance would be 5.8m (not including the garage of number 20) which is generous. The building is considered to sit comfortably within the street scene and to comply with the Suburban Design Guide.



Figure 2.10c: Where surrounding buildings are predominantly detached dwellings of two (2) or more storeys, new developments may be three (3) storeys with an additional floor contained within the roof space or set back from the building envelope below.

Extract from Suburban Design Guide SPD (surrounding buildings 2 storey detached)



Proposed street scene elevation – Rectory Road

8.14 In terms of the proposed site layout, car parking is concentrated in the centre of the site so would not be obtrusive within the street scene. Hard standing is proposed to be permeable. There is one parking space at the front of the site serving the annexed house. The shared frontage area would comprise grass, hedging and 2 new trees. The vehicle crossover would be retained in its existing position and widened (away from the street tree). The access road has a segregated pedestrian zone of 1.2m in width, and there is a separate pedestrian path from the pavement to the front door of the flatted block. The bin store for the flatted block is on the front forecourt in an enclosure with a pitched roof but this is screened from the road by hedging, and the cycle store is in the central paved part of the site. Each of the 3 houses have individual cycle and bin sores in their gardens. Access to the rear amenity space for the flats would be through the central core of the block. The front boundary treatment is proposed to be a low wall, as per the existing.

- 8.15 The proposed design approach is a contemporary reinterpretation. The roof design, materiality and fenestration is informed by local characteristics. The proposed brown multi brick as the main facing material is appropriate and the reconstituted stone window cills and lintels are supported. The front facing balconies to the flatted block and the glazed gable windows are more contemporary features however these have been well integrated into the design. Final details and samples of the materials and detailed drawings of the windows, including reveals of at least 225mm, and entrance porches will be required by condition.
- 8.16 A Topographical survey has been provided, which shows that the site is relatively flat, and varies in height by no more than 0.5m across the majority of the site, with overall variation of approximately 1m across the whole site. The proposal would retain the existing site levels along the boundaries, and there are therefore no requirements for excavation or retaining walls.
- 8.17 The proposal is considered to comply with policies SP4.1 and DM10 and London Plan policy D3 as it is of an appropriate height and mass and a suitably high design quality which responds appropriately to its context and contributes positively to the street scene.

Quality of Accommodation

- 8.18 The National Design Guide states that well designed homes should be functional, accessible and sustainable. They should provide internal environments and associated external spaces that support the health and well-being of their users. Homes should meet the needs of a diverse range of users, taking into factors such as ageing population and cultural differences. They should be adequate in size, fit for purpose and adaptable to the changing needs of their occupants over time. London Plan policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments.
- 8.19 Within the front flatted block, each of the proposed units complies with space standards and internal layouts are sensible with adequate storage areas and hallways. All are dual aspect although flats 3 and 4 on the first floor would have their second aspect obscured, both of which are secondary kitchen windows, in order to protect neighbouring amenity. They could still provide ventilation and daylight. This is acceptable.
- 8.20 The house annexed to the front flatted block provides an open plan living and kitchen area and 3 bedrooms. Triple aspect is provided with a private garden and a parking space at the front. The 2 rear houses provide 2 reception spaces at ground floor level and 3 bedrooms on upper floors. They would be dual or triple aspect with private gardens and 2 car parking spaces each. A good quality of accommodation would be provided.
- 8.21 Accessibility requirements have been considered in accordance with London Plan Policy D7. Within the flatted block, unit F1 (1b2p) on the ground floor would be a M4(3) wheelchair accessible unit and a and a wheelchair accessible parking

space is provide for flat F1 at the rear in close proximity to the door. A representation has raised concern that this unit may not actually be M4(3) compliant. This will need to be assessed in full by Building Control but it will be a requirement of any permission on this site (by condition) that unit 1 fully complies with M4(3) requirements. Flat 2 on the ground floor would be accessible in a step-free manner and would therefore be M4(2) compliant. Units 1 and 2 would also have step-free access to the facilities of the site, including the rear amenity space and play space, bin store and bike store.

- 8.22 No lift is provided so the upper level flats (units 3, 4 and 5) would not be M4(2) compliant. London Plan policy allows some flexibility in the application of this policy on small sites. In this instance, a lift would serve only 3 units and it is not considered pragmatic to require inclusion of a lift as it would not only be hugely expensive for the 3 occupiers (due to increased service charges) but would also require an increase in the size of the building, which is unlikely to be supported. The 3 upper floor flats would therefore achieve M4(1) building regulations standards only. A wider car parking bay is also provided for house 1 at the front. Step-free access to the front door of the rear houses is provided via the pedestrian path alongside the access road.
- 8.23 Policy DM10.4 of the Local Plan requires provision of high quality private amenity space at a minimum of 5sqm per 1-2 person unit and an extra 1sqm per extra occupant thereafter. The proposed ground floor units of the flatted blocks have private terraces and upper floor units have inset balconies (flat 5 in the roof has 2 balconies). The proposed houses each have private gardens which vary in size from around 36sqm (H1) to around 90sqm (H2). Hedging is shown on the site plan to indicate separation between private amenity spaces and the central car parking space, however full details will be required as part of the landscaping condition.
- 8.24 A communal garden of around 66sqm for the flatted block is also provided, incorporating around 12sqm of children's play space in accordance with Local Plan policies DM10.5 and DM10.4. The amenity space is shown to be grassed and bounded by a hedge; full details of this and the play space will be required as part of the landscaping condition.
- 8.25 A Fire Statement has been provided in line with London Plan policy D12. This demonstrates that a fire appliance can access all units including those at the rear via the road, evacuation assembly points are on the hard standing outside of the buildings, internal measures such as fire detection and alarm systems, escape lighting and an openable vent at the head of the stair enclosure within the block, plus passive precautions such as the use of appropriate fire resistant construction techniques, materials, doors, wiring etc. Details are acceptable in principle and will be assessed in full as part of any building regulations approval.
- 8.26 The proposal would provide a good quality of accommodation for future occupiers in accordance with Local Plan Policies SP2 and DM10 and London Plan policies D6, D7 and D12.

Impacts on neighbouring residential amenity

- 8.27 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels. The nearest residential properties are 20 Rectory park to the north and 16 Rectory Park to the south. The property adjoins Sanderstead Recreation Ground to the rear.
- 8.28 In terms of the front block, it has already been mentioned that there is no breach of 45 degree lines in plan or elevation from the front and rear facing windows of the neighbours on either side.
- 8.29 At the sides of the front block, there would be a separation distance of 5.8m to the boundary with number 16 and 1.0m to the boundary with number 20 (which has a garage adjacent to the boundary, resulting in a 6.2m distance from the proposed block to the house at number 20). These separation distances comply with the Suburban Design Guide and would maintain visual gaps in the street scene. The front building is not considered to have an overbearing impact on neighbouring properties or impact unacceptably on their outlook.
- 8.30 Number 20 has a side dormer facing the site at first floor level. This is assumed to be a bedroom window. The roof space at no.20 has several windows providing additional views and outlook, and although the side facing window is not afforded significant protection (in line with para. 2.9.3 of the Suburban Design Guide), it would be approximately 8m from the proposal, which is sufficient to maintain some daylight and outlook. There are 2 side facing windows proposed in the front block at first floor level looking towards number 20 however these are obscure bathroom windows. This does not raise overlooking or privacy concerns. On the opposite side, number 16 does not have windows facing the site. There is one first floor window proposed facing number 16 which similarly is an obscured bathroom window. The front block does not raise any overlooking concerns.
- 8.31 The proposed boundary treatment on the south side, adjacent to the new access road, is a new 1.8m high hedge. This is considered to provide adequate screening between the application site and number 16 and to mitigate noise and fumes.
- 8.32 In terms of the rear houses, these have their main outlook towards the recreation ground at the rear and towards the front block. Care has been taken to ensure there are no side facing habitable windows facing towards the rear gardens of the neighbours. Side facing windows at first and second floor level are to the stairs only, and house 4 also has an obscure bathroom window at first floor level. It will be possible to look out of the front bedroom window at first floor level towards neighbouring gardens at an angle. The closest window-to-window distances from the rear houses and the adjacent neighbours would be 25m (to no.20) and 24.5m (to no.16) which significantly exceeds the guidance in the London Plan Housing SPG (of 18-21m). This is a long separation distance and it is not unusual to be able to see into neighbouring gardens from upper floor windows in suburban locations so this does not raise significant concerns. The roof level windows do not raise overlooking concerns.

8.33 Any potential amenity impacts on neighbouring properties have been adequately mitigated so the proposal complies with Local Plan policy DM10.6.

Trees and landscaping

8.34 Policy DM10.8 seeks to retain existing trees and vegetation and policy DM28 requires proposals to incorporate hard and soft landscaping. An arboricultural report has been submitted assessing impacts on trees on and adjacent to the site. There are no prominent trees of arboricultural merit within the site boundaries.

8.35 There are a total of 9 trees/groups proposed for removal, all of which have been classified as category C trees. Trees proposed for removal include 2 small holly trees, the front boundary hedge and a small group on the frontage (T2, T3, G1 & H1). At the rear, 4 trees and 1 hedge are proposed for removal (T12, 13, 14, 16 & H4). T16 (for removal) is a large ash tree but is suffering from ash dieback.

8.36 The loss of these trees/hedges is to be mitigated by replanting of 9 new trees and a new 1.8m high hedge on the southern boundary. The new trees are proposed to be located on the southern boundary (5 trees), the frontage (2 trees) and in the rear garden of H1 (2 trees).

8.37 Retained trees on the boundaries (outside the site) would experience a small amount of root incursion by the proposed development on the site, however 'no dig' principles plus a cellular confinement system would be used. No objection has been raised by the council's Tree Officer.

8.38 There is a large street tree (T1) outside the site and the proposal involves widening the existing vehicle crossover away from the tree so there is no impact on its RPA.

8.39 The proposed landscaping is limited in detail currently. On the northern boundary, existing hedging and trees are to be retained, and new hedging is proposed on the southern boundary. At the rear, close board fencing and hedging would be used. New trees are identified and areas of new grass and play space are shown on the plan. Full details of landscaping will be required by condition.

8.40 The proposal is considered, subject to conditions, to comply with Local Plan policy DM10.8 and DM28.

Ecology

8.41 Local Plan policy DM27 seeks to protect and enhance biodiversity in the borough. A Preliminary Ecological Appraisal and Bat Survey Report has been undertaken. The Extended Phase 1 Habitat Survey was carried out on 19th August 2021. No evidence of badgers, dormice or birds' nests was found on the site. It is stated that the site is likely to be used by commuting hedgehogs so it is recommended that clearance is carried out outside of hedgehog hibernation periods. It is also recommended that a Construction Environmental Management Plan for

Biodiversity (CEMP: Biodiversity) is submitted to outline protection measures for habitats during construction and this will be required by condition.

- 8.42 The property was identified as being of moderate potential to support roosting bats. Therefore bay emergence surveys were carried out on 30th August and 20th September 2021. During the emergence surveys no bats were identified emerging from the property, and very low activity was recorded by common pipistrelle bats with a single brown long-eared call recorded. The results confirm that the property does not support any roosting bats. No bats were identified in the outbuilding either. However, given the potential for roosting bats nearby, and the potential loss of habitat arising from the redevelopment, bat boxes and crevice ridges are proposed to mitigate the impact (to be secured by conditions).
- 8.43 London Plan policy DM27 states that development proposal should aim to secure net biodiversity gain. The existing site has biodiversity unit score of 0.14 and without mitigation, the proposed scheme will also result in a biodiversity score of 0.14. However due to the time it takes for new habitats to be of value to a site, the overall result is of a -1.18% of habitats on site. It is therefore recommended within the PEA that a green roof is provided on the bin stores with flat roofs (those for the houses) in order to provide habitats for invertebrates and pollinators which could result in a net biodiversity gain with an overall score of +0.18 biodiversity units. Other enhancements are recommended including bat and bird boxes, hedgehog holes and bee bricks. It is further recommended by the Council's ecologist that native species are incorporated in the planting scheme, plus bug and hedgehog boxes. Submission of a Biodiversity Enhancement Strategy will be required by condition.

Access, Parking and Highway Safety

Access arrangements

- 8.44 The site has a Public Transport Accessibility Level (PTAL) of 1b which indicates very poor access to public transport. Two bus routes are within the TFL guidance walking distance from the site (640m); routes 412 (with connections to Purley Station and Croydon Town Centre) and 403 (with connections to West Croydon and Sanderstead stations) which both have at least 4 buses per hour. These routes provide regular commuter services to town centres, stations and workplaces and are useful for regular journeys, but residents are not likely to be able to wholly depend on these bus services.
- 8.45 There is an existing vehicle crossover on the south side of the site, closest to number 16. The proposal is to re-use this crossover to create the new access road. The access point would be widened to 4.5m wide, away from the street tree (T1), and the Tree Protection Plan outlines the methods that will be used to ensure the street tree is not damaged during construction. The width of the road would be 5m where it meets the pavement with adequate space for 2 cars to pass each other, then 4.8m wide for the rest of its length. The proposed width and location of crossover complies with highways guidance and would be agreed as part of a S278 agreement. A 1.2m wide pedestrian path would also be delineated alongside the vehicle access.

- 8.46 Vehicle and pedestrian sightlines are shown on the site plan to the required standards. A condition will be attached to ensure that planting in the sightlines remains below 0.6m in height.

Car parking

- 8.47 London Plan policy T6.1 would permit up to 1.5 spaces per 3+ bed unit and 1 space per 1-2 bed unit which equates to a maximum of 9.5 (10) spaces. 10 spaces are proposed on site; 2 each for the houses at the rear, 1 for the house at the front and 1 for each of the flats. It is unlikely therefore that the development would lead to overspill car parking.
- 8.48 The tracking diagrams confirm that manoeuvring into and out of the parking spaces can be achieved safely. The front parking space is shown as a wide bay and the space designated for F1 (the M4(3)) unit is also shown to be wheelchair accessible, although details of this space will be required by condition to ensure adequate widths are achieved. Electric vehicle charging points are shown on the plans and a condition would be attached to ensure that 20% active and 80% passive points are provided in line with policy DM30 and London Plan policy T6.1.
- 8.49 A financial contribution of £12,000 will be secured via S106 agreement to contribute towards sustainable transport initiatives in the local area in line with Local Plan policies SP8.12 and SP8.13.
- 8.50 A condition will be attached to require submission of a Construction Logistics Plan (CLP) and a condition survey of the surrounding footways and carriageway prior to commencement of works on site.

Cycle parking

- 8.51 Policy DM30 and London Plan policy T5 would require provision of a total of 15 cycle parking spaces (6 for the houses and 9 for the flats) plus 2 visitor spaces. Each of the houses have their own cycle storage enclosures in the rear garden (with external access) which is acceptable. The cycle parking for the flats is external, within a wooden enclosure on the hard standing behind the parking spaces. 5 Sheffield stands are proposed which provides space for parking 10 bikes. This is acceptable.
- 8.52 Visitor cycle parking is shown on the front forecourt (1 Sheffield stand providing space for 2 bikes).

Waste / Recycling Facilities

- 8.53 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. The refuse store for the flats is located on the front forecourt. It would be an adequate size for 3 bins required for recycling, general waste and food waste, however final details of the size and design / materiality of the enclosure can be secured by condition. Each house has its own bin store. There is also a location on the south side of the site, on the access road, for the rear houses to deposit their bins on collection day. This

collection point is appropriately located for collection by operatives, within 20m of the carriageway.

- 8.54 Although it would be passed by the occupiers on their way in and out of the site, the collection point would be located further from the front door of H2 and H3 than guidance would suggest is an appropriate walking distance for residents (25m) at over 30m from H3 and over 40m from H2. Therefore those homes would have private bin stores for day-to-day use (within their gardens, and will within the 25m guidance) which they would then take to the collection point on collection days.
- 8.55 A condition will be attached requiring submission of final details of the bin enclosures and bin sizes including materials, and green roofs as described above in the ecology section.

Flood Risk and Energy Efficiency

Flood risk

- 8.56 Local Plan policy DM25 and London Plan policy SI13 outline that SUDS should be provided in all developments to ensure that surface runoff is managed as close to source as possible. SUDS should accord with the London Plan Drainage Hierarchy and achieve greenfield runoff rates (i.e. the same rate as a site which has not been developed) or better.
- 8.57 The site is within flood zone 1 and at very low risk of surface water flooding. It is in an area that has limited potential for groundwater flooding and there have been no instances of groundwater flooding in the vicinity. Representations have raised concern about sewage flooding in the area.
- 8.58 A Flood Risk Assessment and SUDS report has been provided outlining that the proposal would increase the impermeable area across the site from 549sqm to 708sqm. In order to manage the surface water arising from the development on the site itself and to reduce flood risk elsewhere, a detailed SUDS Strategy has been proposed. The strategy proposed for the site includes use of rain garden planters to be positioned below rainwater downpipes and 4 wall-mounted rainwater harvesting tanks. All proposed areas of hardstanding would be formed of porous surfacing with the surface water runoff to be caught by slot drains.
- 8.59 Percolation testing was carried out on 12/02/22 and it has been concluded that infiltration is not feasible on this site. Although the area has predominantly chalk soil, which is suitable for soakaways, there are pockets of other soil types, and the percolation testing found limited scope for infiltration (e.g. a soakaway) on this site. Therefore, in order to capture any additional surface water flow from the site a crate system attenuation tank is proposed. The greenfield runoff rate for the site has been calculated to be 0.738 l/s. The attenuation tank would restrict flows of water into the existing sewer to the greenfield rate for the site. If flows into the sewer are to take place at a greenfield rate of 0.738 l/s, this would be a lower rate of flow into the sewer than the current situation, so the surface water run-off following the development would be significantly improved following compared to the existing situation.

- 8.60 The required attenuation space to accommodate flows from the site has been calculated to be 47.7m³. An attenuation tank with this storage would prevent the same volume of water from entering the sewer network during a flood event, allowing it to enter more slowly over time once sewer capacity has increased. Details of the proposed siting of the attenuation tank and details of the proposed raingardens, rainwater harvesting tanks and slot drains would be required by condition.
- 8.61 Thames Water has been consulted and has stated that they would have no objection to the proposed development provided the sequential approach to the disposal of surface water is followed in line with London Plan policy SI13. The sequential approach has been followed and is outlined in the paragraphs above. In accordance with standard procedures, the developer would be required to liaise with Thames Water for prior approval to discharge to the public sewer. A standard informative to this effect would be attached to any permission.
- 8.62 The proposal would not result in an increase in flood risk on the site and would result in a decreased rate of flow into the public sewer. The proposal complies with Local Plan policy DM25 and London Plan policy SI13.

Energy efficiency

- 8.63 In order to ensure that the proposed development will be constructed to high standards of sustainable design in accordance with Local Plan policy SP6, a condition will be attached requiring the proposed development to both achieve the national technical standard for energy efficiency in new homes (2015) which requires a minimum of 19% CO₂ reduction beyond the Building Regulations Part L (2013), and meet a minimum water efficiency standard of 110 litres/person/day as set out in Building Regulations Part G.

Conclusion

- 8.64 The provision of 8 new residential units in this location is acceptable in principle. The site is considered to large enough to support backland development and sufficient green/open space would be retained on the site. The access arrangements to the rear are acceptable and the wider site layout works well. The proposed design is considered to be a positive contribution to the street scene, and the massing is considered to sit well within the street scene. The quality of accommodation is acceptable. The quantum of car parking spaces complies with the maximum requirements of the London Plan so it is unlikely that there will be overspill parking on the street. Impacts on trees and ecology are acceptable. SUDS have been considered in detail and the proposal would result in a reduced flow of surface water into the sewer via an attenuation tank at greenfield runoff rates, which would improve the sewer flooding issues identified in the area. Landscaping details will be required by condition.
- 8.65 All material considerations have been taken into account, including responses to the public consultation. Taking into account the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning policy terms.

Other matters

- 8.66 The development would be liable for a charge under the Community Infrastructure Levy (CIL).
- 8.67 All other planning considerations including equalities have been taken into account.

PLANNING COMMITTEE AGENDA

PART 8: Other Planning Matters

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning matters, other than planning applications for determination by the Committee and development presentations.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 FURTHER INFORMATION

- 2.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

3 PUBLIC SPEAKING

- 3.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

4 BACKGROUND DOCUMENTS

- 4.1 For further information about the background papers used in the drafting of the reports in part 7 contact Mr P Mills (020 8760 5419).

5 RECOMMENDATION

- 5.1 The Committee to take any decisions recommended in the attached reports.

This page is intentionally left blank

Sustainable Communities, Regeneration and Economic Recovery Department
DEVELOPMENT MANAGEMENT

DELEGATED PLANNING DECISIONS (Ward Order)

The following is a list of planning applications determined by the Head of Development Management under delegated powers since the last meeting of the Planning Committee.

14.02.2022 to 25.02.2022

Note: This list also includes those decisions made by Planning Committee and released in this time frame as shown within the level part of each case.

NOTE: The cases listed in this report can be viewed on the Council's Website.

Please note that you can also view the information supplied within this list and see more details relating to each application (including the ability to view the drawings submitted and the decision notice) by visiting our Online Planning Service at the Croydon Council web site (www.croydon.gov.uk/onlineplans).

Once on the Council web page please note the further information provided before selecting the Public Access Planning Register link. Once selected there will be various options to select the Registers of recently received or decided applications. Also; by entering a reference number if known you are able to ascertain details relating to a particular application. (Please remember to input the reference number in full by inserting any necessary /'s or 0's)

Ref. No. :	21/05093/FUL	Ward :	Addiscombe East
Location :	275 Addiscombe Road Croydon CR0 7HY	Type:	Full planning permission
Proposal :	Proposed demolition of the existing building and erection of a new four storey building with basement car parking to provide 9 flats, with associated site alterations		

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 16.02.22

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 22/00290/TRE
Location : Heron View
6 - 10 Outram Road
Croydon
CR0 6XE

Ward : Addiscombe East
Type: Consent for works to protected trees

Proposal : T1,T2,T3 Horse chestnut: 3-4 metre crown reduction.
(TPO 10, 1996)

Date Decision: 23.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 21/01186/FUL
Location : 51 Warren Road
Croydon
CR0 6PF

Ward : Addiscombe West
Type: Full planning permission

Proposal : Change of use from small HMO (C4 Use Class) to large HMO (Sui Generis)

Date Decision: 24.02.22

Permission Granted

Level: Planning Committee - Minor Applications

Ref. No. : 21/02541/CONR
Location : 59 - 61 Addiscombe Road
Croydon
CR0 6SD

Ward : Addiscombe West
Type: Removal of Condition

Proposal : Variation of Condition 8 (Approved plans) attached to planning permission ref 17/04442/FUL for the partial demolition of the existing building and erection of third floor and partial fourth floor within the roof space, four storey lift tower, front extension and a three storey side/rear extension with undercroft vehicular access and car parking (amended description).

Date Decision: 16.02.22

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Level: Delegated Business Meeting

Ref. No. : 21/06333/FUL **Ward : Addiscombe West**
Location : 214 Turnpike Link **Type: Full planning permission**
Croydon
CR0 5NZ
Proposal : Erection of single storey rear extension. Conversion of resulting building to provide 3 flats.
Date Decision: 15.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06352/FUL **Ward : Addiscombe West**
Location : 43 Lower Addiscombe Road **Type: Full planning permission**
Croydon
CR0 6PQ
Proposal : Installation of extract flue for restaurant kitchen
Date Decision: 21.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03803/FUL **Ward : Bensham Manor**
Location : 2A Kimberley Road **Type: Full planning permission**
Croydon
CR0 2PU
Proposal : Demolition of the existing building in use as a printers and construction of a new two storey building with a replacement printers on the ground floor and a new dwelling above
Date Decision: 21.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05833/FUL **Ward : Bensham Manor**
Location : 30 Bensham Manor Road **Type: Full planning permission**
Thornton Heath
CR7 7AA
Proposal : Change of use of property from day nursery (Use Class E(f)) within outbuilding and ground floor of main building, as well as, self-contained flat (Use Class C3) on first floor and loft levels of main building to single dwellinghouse (Use Class C3), and Associated alterations and private amenity space
Date Decision: 23.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06009/DISC **Ward : Bensham Manor**
Location : Bensham House Type: Discharge of Conditions
324 Bensham Lane
Thornton Heath
CR7 7EQ
Proposal : Discharge of Conditions 2 and 14 attached to planning permission ref 19/04351/CONR for Variation to Condition 26 - List of Approved Drawings - of planning permission 16/06483/FUL for Demolition of existing buildings, erection of a six storey building (including lower ground floor) fronting Bensham Lane comprising up to 34 flats, erection of three storey terrace building (including lower ground floor) comprising up to 6 flats and up to 7 townhouses, formation of vehicular accesses and provision of associated off-street parking, provision of associated refuse and cycle storage.

Date Decision: 23.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/06277/DISC **Ward : Bensham Manor**
Location : Bensham House Type: Discharge of Conditions
324 Bensham Lane
Thornton Heath
CR7 7EQ
Proposal : Discharge of Condition 1 attached to Planning Permission 19/04351/CONR for Variation to Condition 26 - List of Approved Drawings - of planning permission 16/06483/FUL for Demolition of existing buildings, erection of a six storey building (including lower ground floor) fronting Bensham Lane comprising up to 34 flats, erection of three storey terrace building (including lower ground floor) comprising up to 6 flats and up to 7 townhouses, formation of vehicular accesses and provision of associated off-street parking, provision of associated refuse and cycle storage.

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 22/00502/LP **Ward : Bensham Manor**
Location : 81 Penshurst Road Type: LDC (Proposed) Operations
Thornton Heath edged
CR7 7EF
Proposal : Loft conversion with erection of rear box dormer and installation of skylights. Extension of soil vent.

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 25.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/02742/FUL **Ward : Broad Green**
Location : Edison Court **Type: Full planning permission**
2A Campbell Road
Croydon
CR0 2RH
Proposal : Alterations and removal of combustible cladding materials to the facade of the building with non combustible materials

Date Decision: 14.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/04463/FUL **Ward : Broad Green**
Location : 256 London Road **Type: Full planning permission**
Croydon
CR0 2TH
Proposal : Erection of four-storey building to provide 78.5sqm of retail space (Use Class E(a)) on ground floor level and six (6) self-contained dwellings (Use Class C3) on upper floors, Associated alterations, and Associated amenity, cycle parking and waste storage spaces

Date Decision: 16.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/04570/DISC **Ward : Broad Green**
Location : Shackleton House **Type: Discharge of Conditions**
209 Purley Way
Croydon
CR0 4XE
Proposal : Discharge of condition 4(a)(ii) and (b) (contamination) attached to planning permission 20/00790/FUL for full planning application for two additional storeys to the existing building at third and fourth floors for residential dwellings (Use Class C3) and extensions to provide stair cores and cycle stores, refuse stores, plant room, car parking and hard and soft landscaping.

Date Decision: 18.02.22

Not approved

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Level: Delegated Business Meeting

Ref. No. : 21/05398/FUL **Ward : Broad Green**
Location : 1 Kelling Gardens Type: Full planning permission
Croydon
CR0 2RP
Proposal : Erection of dwellinghouse with associated cycle and bin storage
Date Decision: 17.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05918/NMA **Ward : Broad Green**
Location : Former Stewart Plastics Factory Site, Type: Non-material amendment
Waddon Marsh Way, Croydon CR9 4HS;
Including Adjacent Hardstanding, Part Of
Latham's Way, Part Of The Car Parking Area
At Valley Retail Park, Part Of Hestermann
Way, And Part Of Waddon Marsh, CR9 4HS
Proposal : Non material amendment to planning permission 18/02663/FUL for the redevelopment of the site to provide up to 11,398sqm (GEA) of new industrial, warehousing and ancillary floor space, the construction of a new road link road and other associated works. The amendments being sought are for alterations to the approved security hut building and minor amendments to the approved hard and soft landscaping details. The application also seeks to change two drawing numbers incorrectly referenced in the previous non material amendment agreed under application number 21/02696/NMA.
Date Decision: 21.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/06321/FUL **Ward : Broad Green**
Location : 72 Sumner Road Type: Full planning permission
Croydon
CR0 3LJ
Proposal : Conversion of the single family dwellinghouse into two self-contained flats; the erection of single storey rear extension with first floor roof terrace; erection of loft conversion with dormers on the rear and outrigger roof slope; and rooflights on the front roof slope (part retrospective)
Date Decision: 16.02.22

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 25.02.22

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 22/00196/HSE **Ward : Broad Green**
Location : 39 Sutherland Road **Type: Householder Application**
Croydon
CR0 3QH
Proposal : Erection of two-storey side extension and single storey front extension.

Date Decision: 25.02.22

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 21/03566/HSE **Ward : Crystal Palace And Upper Norwood**
Location : 58 Bradley Road **Type: Householder Application**
Upper Norwood
London
SE19 3NS
Proposal : Erection of dormer extension on rear roofslope, and installation of two (2) roof windows on front roofslope

Date Decision: 21.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05309/FUL **Ward : Crystal Palace And Upper Norwood**
Location : 6 Woodcote House **Type: Full planning permission**
141 Auckland Road
Upper Norwood
London
SE19 2RR
Proposal : Installation of three rooflights on the side elevation and conversion of the roof space into a bedroom with ensuite

Date Decision: 21.02.22

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Non-Material Amendment to Planning Permission 15/02658/P (by association with Refs: 17/04227/NMA, 18/01817/NMA & 21/03286/NMA) to correct the description of development to read "the demolition of some of the existing buildings on site and redevelopment and reuse to provide a mixed use scheme comprising retail within Class E (at ground floor level), flexible retail/office/studio space within Classes E (at ground floor level) including an element of D1 (community) use, restaurant/bar within Classes A3/A4 (at ground level), apart-hotel/hotel within Class C1 (at ground, 1st, 2nd & 3rd floor levels), office within Class E (at 1st & 2nd floor level), together with residential accommodation (Class C3) comprising 34 flats (at 1st, 2nd and 3rd floor levels) and associated amenity space. Provision of a covered space for use as a market and entertainment space. Provision of associated disabled car parking, secure cycle storage and refuse/recycling storage areas".

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Ref. No. :	22/00248/CAT	Ward :	Crystal Palace And Upper Norwood
Location :	117 Church Road Upper Norwood London SE19 2PR	Type:	Works to Trees in a Conservation Area
Proposal :	T1 Sycamore - Reduce by 3m in height and spread T2 Goat Willow - Reduce by 2m to previous reduction points T3 Thuja - Cut down to ground level and grind out the stump T4 Lime tree - Shorten left hand limb by 3m to clear over neighbours building, Crown thin by 20% and cut back lateral growth over garden by 4m leaving the vertical crown		

Date Decision: 16.02.22

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. :	22/00276/CAT	Ward :	Crystal Palace And Upper Norwood
Location :	4 Courtney Close Upper Norwood London SE19 3BE	Type:	Works to Trees in a Conservation Area
Proposal :	T1 Ash (x1) - Fell		

Date Decision: 23.02.22

No objection (tree works in Con Areas)

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Level: Delegated Business Meeting

Ref. No. : 21/04990/OUT **Ward : Coulsdon Town**
Location : Wood View **Type: Outline planning permission**
Woodstock Road
Coulsdon
CR5 3HS
Proposal : Demolition of existing dwelling and erection of a three storey building (with accommodation in the roof space) to comprise 9 flats with associated access, car parking and cycle/refuse storage

Date Decision: 21.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/00157/FUL **Ward : Fairfield**
Location : 5 Woodstock Road **Type: Full planning permission**
Croydon
CR0 1JS
Proposal : Repainting of front elevation light grey and removal of canopy porch (retrospective).
Proposed replacement side boundary brick wall.

Date Decision: 17.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/02582/DISC **Ward : Fairfield**
Location : 75C George Street **Type: Discharge of Conditions**
Croydon
CR0 1LD
Proposal : Discharge of condition 8 (cycle storage) attached to permission 19/01023/FUL for Demolition of existing (rear) buildings and erection of 3 x 3 bed and 1 x 2 bed houses with associated vehicle manoeuvring area, private amenity space and bin storage.

Date Decision: 23.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/02868/FUL **Ward : Fairfield**

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : 77 - 81 North End
Croydon
CR0 1TJ
Type: Full planning permission

Proposal : Installation of ATM, CCTV camera and LED lighting

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/03021/FUL
Location : 77 - 81 North End
Croydon
CR0 1TJ
Ward : **Fairfield**
Type: Full planning permission

Proposal : Installation of gas cooler, three air conditioning units and associated timber fencing on rear roof space

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/03223/ADV
Location : Pavement O/S 34-36 Church Street
Croydon
CR0 1RB
Ward : **Fairfield**
Type: Consent to display advertisements

Proposal : 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.

Date Decision: 17.02.22

Consent Refused (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 21/03423/DISC
Location : Electric House
3 Wellesley Road
Croydon
CR0 2AG
Ward : **Fairfield**
Type: Discharge of Conditions

Proposal : Discharge of Condition 9 (Travel plan) attached to planning consent 20/02813/FUL for the change of use from B1 (Offices) to D1 (Non-Residential Institution - University). External alterations including repairs to existing elevations, structures within courtyard and replacement of plant to roof along with internal alterations.

Date Decision: 17.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/04371/NMA **Ward : Fairfield**
Location : Former Site Of Taberner House **Type: Non-material amendment**
Park Lane
Croydon
CR9 3JS

Proposal : Application for a non-material amendment (roof level amendments to Block 1) to application 20/04114/CONR for Variation of conditions 4 (landscaping), 8 (retail floorspace) and 44 approved plans) imposed upon planning permission 17/05158/CONR (for redevelopment of the site of the former Taberner House to provide 514 residential units in 4 buildings, including commercial space at ground floor level) to allow for an increase in ground floor retail floorspace and associated design amendments, basement layout amendment and change to trigger point for completion of landscaping works

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/05378/DISC **Ward : Fairfield**
Location : Car Park To The West Of **Type: Discharge of Conditions**
Tavistock Court
Tavistock Road
Croydon

Proposal : Discharge of conditions 3 (materials), 9 (construction logistics plan) and 12 (landscaping) attached to planning permission ref. 20/02630/FUL for Erection of 3 storey building on western car park area to provide 6 dwellings with associated landscaping/works

Date Decision: 25.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/05753/DISC **Ward : Fairfield**
Location : Development Site Former Site Of Sydenham **Type: Discharge of Conditions**
Court
52 Sydenham Road
Croydon
CR0 2EF

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Details pursuant to Condition 14 (Travel Plan), 15 (Delivery and services plan) in respect to planning permission 19/04764/ful granted for demolition of the existing buildings followed by the re-development of a new residential development consisting of two separate blocks (6 storeys and 4 storeys respectively) containing 43 new homes, new hard and soft landscaping, courtyards, cycle and vehicle parking with refuse areas

Date Decision: 23.02.22

Not approved

Level: Delegated Business Meeting

Ref. No. : 21/05781/DISC

Ward : Fairfield

Location : Lavendar Apartments
1A Mulgrave Road
Croydon
CR0 1BL

Type: Discharge of Conditions

Proposal : Discharge of Condition 11 - Construction Logistics Plan - attached to planning permission 20/05890/FUL for Erection of mansard roof over whole building to reconfigure 2 x studio flats, and provide 1 x 1-bed flat and 1 x studio. Erection of 4-storey rear extension converting 6 x studio flats into 3 x 2-bed flats and 3 x 1-bed flats. Erection of 4-storey side extension to provide 4 x studio flats, 1 x 1-bed and 1 2-bed flats (total of 8 additional flats) with external alterations revised landscaping and access. Provision of communal amenity space, refuse and cycle stores.

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/06174/LE

Ward : Fairfield

Location : Surrey House
2 Scarbrook Road
Croydon
CR0 1SQ

Type: LDC (Existing) Operations edged

Proposal : Lawful development certificate application for confirmation on commencement of development in relation to planning permission 18/04903/FUL

Date Decision: 18.02.22

Lawful Dev. Cert. Granted (existing)

Level: Delegated Business Meeting

Ref. No. : 21/06304/HSE

Ward : Fairfield

Location : 10A Derby Road
Croydon
CR0 3SY

Type: Householder Application

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Alterations and use of garage as a habitable space; erection of a single storey front extension to incorporate a new porch entrance.

Date Decision: 16.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/00529/NMA

Ward : **Fairfield**

Location : Development Site Former Site Of
5 - 9 Surrey Street
Croydon
CR0 1RG

Type: Non-material amendment

Proposal : Non-material amendment (increase in height of smoke shaft) to PP 18/01211/FUL for the demolition of the existing building and replacement with a six/seven/eight storey development. Commercial units would be provided on the lower ground (sui generis, A3 and D1/D2) and ground floor (flexible use A1, A2, A3, D1, D2, B1(a)), with 60 flats above with associated public realm improvements and landscaping including courtyard area with, disabled car parking and cycle parking.

Date Decision: 23.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 15/01289/RES

Ward : **Fairfield**

Location : Land Adjoining East Croydon Station,
Bounded By George Street (Including 1-5
Station Approach), Dingwall Road, (Including
The Warehouse Theatre), Lansdowne Road
And Including Land To The North Of
Lansdowne Road, Croydon

Type: Approval of reserved matters

Proposal : Erection of a fifteen storey building comprising office use (class E(g)(i)) and commercial, business and service uses (classes E(a)-(d)); pub and drinking establishments (including those with expanded food provision) and takeaways (sui generis); and community and learning uses (classes E(e)-(f), F.1(a)-(e) and F.2(a)-(b)) at part ground and part first floors along with parking (approval of reserved matters in connection with outline planning application 20/01503/CONR in relation to Plot B02)

Date Decision: 24.02.22

Approved

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 21/00339/FUL **Ward : Kenley**
Location : 1 Kearton Close **Type: Full planning permission**
Kenley
CR8 5EN
Proposal : Demolition of existing dwelling and erection of 9 x 3 bedroom dwellings of 2 storeys plus accommodation in the roof with associated access, 18 parking spaces, cycle and refuse storage. (AMENDED DESCRIPTION)
Date Decision: 23.02.22

P. Granted with 106 legal Ag. (3 months)

Level: Planning Committee

Ref. No. : 21/01913/FUL **Ward : Kenley**
Location : 31 Roke Road **Type: Full planning permission**
Kenley
CR8 5DZ
Proposal : Demolition of existing detached 2 storey dwelling and replacement with 3 x 3 storey terraced dwellings with 3 car parking spaces.
Date Decision: 24.02.22

P. Granted with 106 legal Ag. (3 months)

Level: Planning Committee - Minor Applications

Ref. No. : 21/05125/HSE **Ward : Kenley**
Location : 95 Valley Road **Type: Householder Application**
Kenley
CR8 5BY
Proposal : Alterations, including increased forecourt area, new boundary treatments and retaining wall to the front of the building.
Date Decision: 17.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05903/HSE **Ward : Kenley**
Location : 11 Langham Dene **Type: Householder Application**
Kenley
CR8 5BX
Proposal : Erection of a single storey front/side and rear extension.
Date Decision: 24.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06045/HSE
Location : Follycroft
27 Valley Road
Kenley
CR8 5DJ
Ward : **Kenley**
Type: Householder Application
Proposal : Erection of single story rear extension and first floor side extension.
Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06358/FUL
Location : The Bungalow
Little Roke Road
Kenley
CR8 5NE
Ward : **Kenley**
Type: Full planning permission
Proposal : Demolition of existing residential building and the erection of a part 2, part 3 storey building comprising of new residential dwellings together with associated car parking with vehicular crossovers, cycle provision, external landscaping and associated works.
Date Decision: 24.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/00208/TRE
Location : 12 Hadley Wood Rise
Kenley
CR8 5LY
Ward : **Kenley**
Type: Consent for works to protected trees
Proposal : T1 Acer (Cappadocian): 2 metre reduction to previous pruning points.
(TPO 100)
Date Decision: 23.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 22/00252/TRE
Location : 7 Frobisher Close
Kenley
CR8 5HF
Ward : **Kenley**
Type: Consent for works to protected trees
Proposal : Conifer (T3) - To remove the lowest limb of the mature Conifer located on the left hand rear boundary.
(TPO no. 26, 1973)

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 24.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 22/00259/TRE
Location : 5 Frobisher Close
Kenley
CR8 5HF

Ward : Kenley
Type: Consent for works to protected trees

Proposal : Silver Birch (T1) - Crown Reduce by 2.5 metres.

Date Decision: 23.02.22

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 21/02321/FUL
Location : 198 King Henry's Drive
Croydon
CR0 0HJ

Ward : New Addington South
Type: Full planning permission

Proposal : Proposed erection of a 2 storey dwelling (1 x 2 bed)

Date Decision: 16.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06110/FUL
Location : 51 - 51B Salcot Crescent
Croydon
CR0 0JN

Ward : New Addington South
Type: Full planning permission

Proposal : Erection of a pair of two storey semi-detached 3-bedroom houses and provision of associated parking to the rear of 51-51B Salcot Crescent.

Date Decision: 23.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06370/GPDO
Location : 15 Arnhem Drive
Croydon
CR0 0ED

Ward : **New Addington South**
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 2.85 metres and a maximum overall height of 2.85 metres

Date Decision: 22.02.22

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 21/03202/FUL
Location : Land To The Rear Of 1 To 7 Acacia Road
Norbury
London
SW16 5PP

Ward : **Norbury Park**
Type: Full planning permission

Proposal : The demolition of existing commercial units and the construction of a three-storey residential development providing seven residential units (Use Class C3) with associated works.

Date Decision: 24.02.22

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 21/05284/HSE
Location : 75 Ryecroft Road
Norbury
London
SW16 3EN

Ward : **Norbury Park**
Type: Householder Application

Proposal : Alterations, demolition of existing conservatory and erection of single-storey rear/side extension

Date Decision: 18.02.22

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 21/05679/HSE **Ward : Norbury Park**
Location : 22 Norbury Hill **Type: Householder Application**
Norbury
London
SW16 3LB
Proposal : Erection of roof extension over side extension and first floor rear/side extension.

Date Decision: 21.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06282/LP **Ward : Norbury Park**
Location : 8 Gibson's Hill **Type: LDC (Proposed) Operations**
Norbury **edged**
London
SW16 3JN
Proposal : Erection of hip to gable and rear dormer.

Date Decision: 15.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/06373/LP **Ward : Norbury Park**
Location : 55 Georgia Road **Type: LDC (Proposed) Operations**
Thornton Heath **edged**
CR7 8DW
Proposal : Erection of rear dormer. Insertion of two windows to the front roof slope.

Date Decision: 18.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/00125/HSE **Ward : Norbury Park**
Location : 54 Maryland Road **Type: Householder Application**
Thornton Heath
CR7 8DF
Proposal : First floor side and single storey rear extensions to the house

Date Decision: 24.02.22

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Level: Delegated Business Meeting

Ref. No. : 21/05550/HSE **Ward : Norbury And Pollards Hill**
Location : 271 Norbury Crescent **Type: Householder Application**
Norbury
London
SW16 4LF
Proposal : Erection of single storey rear extension and erection of new boundary block wall to the rear.

Date Decision: 17.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05956/HSE **Ward : Norbury And Pollards Hill**
Location : 25 Colebrook Road **Type: Householder Application**
Norbury
London
SW16 5QS
Proposal : Erection of two-storey side extension

Date Decision: 25.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06262/LP **Ward : Norbury And Pollards Hill**
Location : 75 Strathyre Avenue **Type: LDC (Proposed) Operations**
Norbury **edged**
London
SW16 4RF
Proposal : Erection of dormer to the rear roof and roof lights to the front.

Date Decision: 24.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/06292/HSE **Ward : Norbury And Pollards Hill**

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : 24 Melrose Avenue
Norbury
London
SW16 4QU
Type: Householder Application
Proposal : Erection of single storey side/rear extension

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00021/LP
Location : 26 Melrose Avenue
Norbury
London
SW16 4QU
Ward : **Norbury And Pollards Hill**
Type: LDC (Proposed) Operations
edged

Proposal : Erection of hip to gable and rear dormer roof extensions and installation of 3 rooflight on the front slope.

Date Decision: 21.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/04486/HSE
Location : 15 Marlpit Avenue
Coulsdon
CR5 2SD
Ward : **Old Coulsdon**
Type: Householder Application
Proposal : Erection of proposed single storey side/rear extension, alteration of garage into habitable room, first floor extension, raised patio and internal alterations.

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05439/HSE
Location : 40 Chaldon Way
Coulsdon
CR5 1DB
Ward : **Old Coulsdon**
Type: Householder Application

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Demolition of existing entrance porch and detached garage; construction of part single storey part two storey front, side and rear extensions, including internal alterations and rear and front landscaping.

Date Decision: 16.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00063/HSE
Location : 107 Mead Way
Coulsdon
CR5 1PR

Ward : Old Coulsdon
Type: Householder Application

Proposal : Garage conversion and erection of front extension and porch

Date Decision: 23.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00230/CAT
Location : The Grange
2 Canon's Hill
Coulsdon
CR5 1HB

Ward : Old Coulsdon
Type: Works to Trees in a
Conservation Area

Proposal : 01 Ash - Fell

Date Decision: 23.02.22

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 21/02997/FUL
Location : 9 The Spinney
Purley
CR8 1AB

Ward : Purley Oaks And Riddlesdown
Type: Full planning permission

Proposal : Demolition of dwelling on the site and erection of a 3 storey block plus roof accommodation comprising 7 flats plus 2 houses (9 units total) with associated car parking, amenity space and landscaping.

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Non-material amendment to ref. 19/02578/GPDO (Change of use of ground, first, second, third and fourth floors (Use Class B1 - office) to residential use (Use Class C3 - dwelling), to comprise of 64 residential units) to allow for internal alterations at 1st - 4th floor levels.

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 22/00408/NMA

Ward : Purley Oaks And Riddlesdown

Location : 63 Selcroft Road
Purley
CR8 1AL

Type: Non-material amendment

Proposal : Non material amendment to permission 18/00239/FUL for Demolition of the existing bungalow, erection of a two storey plus roof and basement level property, creation of nine self-contained residential units (C3) with associated car parking, bin and cycle stores, balcony terraces and landscaping (internal reconfiguration and new rooflights)

Date Decision: 25.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03470/FUL

Ward : Purley And Woodcote

Location : 5 Russell Hill
Purley
CR8 2JB

Type: Full planning permission

Proposal : Demolition of dwellinghouse and the construction of a three-storey building above ground with accommodation in roof space and two stories of lower ground accommodation in order to provide 21 flats with associated vehicle and cycle parking, refuse store, hard and soft landscaping (amended plans and description).

Date Decision: 21.02.22

P. Granted with 106 legal Ag. (3 months)

Level: Planning Committee

Ref. No. : 21/02214/DISC

Ward : Purley And Woodcote

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : 62 Brighton Road
Purley
CR8 2LJ

Type: Discharge of Conditions

Proposal : Discharge of conditions 3 (refuse and cycle storage) and 4 (landscaping) attached to permission 20/03765/CONR (allowed under appeal ref: APP/L5240/W/20/3263884 dated 07/07/21) for the 'Variation to condition 1 (approved plans) associated with Planning Permission 20/01729/CONR (amendment to 16/04860/FUL) approved for alterations and conversion to form 4 two bedroom flats, erection of single/two storey side/rear extensions and dormer extension in rear roof slope, provision of associated parking'

Date Decision: 23.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/03729/HSE

Location : 155 Woodcote Valley Road
Purley
CR8 3BN

Ward : **Purley And Woodcote**

Type: Householder Application

Proposal : Alterations, erection of a two storey side extension, two storey rear extension and single storey side and front extension

Date Decision: 17.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06131/DISC

Location : 3 Olden Lane
Purley
CR8 2GF

Ward : **Purley And Woodcote**

Type: Discharge of Conditions

Proposal : Discharge of condition 5 (cycle storage) attached to permission 20/03751/CONR dated 23/11/2021 for 'Variation of Condition 1 (approved plans) attached to planning permission ref.19/00110/FUL for demolition of the existing dwelling and detached garage. Erection of a two/three storey building to provide 8 units with associated parking/access, landscaping, internal refuse and external cycle stores (involving minor alterations to window and door details; brick work and internal layout)'

Date Decision: 14.02.22

Approved

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 21/06172/HSE **Ward : Purley And Woodcote**
Location : 65 Downs Court Road **Type: Householder Application**
Purley
CR8 1BG
Proposal : Erection of a two storey rear extension.

Date Decision: 17.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00268/TRE **Ward : Purley And Woodcote**
Location : 23A Green Lane **Type: Consent for works to protected trees**
Purley
CR8 3PQ

Proposal : 2 x Beech: Reduce crown by 2.5m and raise crown to 4m.
(TPO 4, 1971)

Date Decision: 23.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 22/00270/TRE **Ward : Purley And Woodcote**
Location : 23B Green Lane **Type: Consent for works to protected trees**
Purley
CR8 3PQ

Proposal : T1 Horse chestnut, Reduce crown by 2m raise cown to 4m.
(TPO 4, 1971)

Allow more light into garden and reduce back overhanging branches

Date Decision: 23.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 21/01619/FUL **Ward : Sanderstead**
Location : 158 Purley Downs Road **Type: Full planning permission**
South Croydon
CR2 0RF

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Demolition of existing dwelling and garage and erection of two 3-storey buildings, comprising of 7 dwellings, together with car parking, amenity space, cycle parking, refuse storage and associated landscaping

Date Decision: 25.02.22

P. Granted with 106 legal Ag. (3 months)

Level: Planning Committee

Ref. No. : 21/04779/DISC **Ward : Sanderstead**
Location : 89 Hyde Road **Type: Discharge of Conditions**
South Croydon
CR2 9NS
Proposal : Discharge of conditions 9 (Cycle/Refuse/EVPC etc) and 11 (Materials) pursuant to application reference: 20/00108/FUL dated 22.02.2021

Date Decision: 15.02.22

Part Approved / Part Not Approved

Level: Delegated Business Meeting

Ref. No. : 21/06257/HSE **Ward : Sanderstead**
Location : 16 Glebe Hyrst **Type: Householder Application**
South Croydon
CR2 9JE
Proposal : Erection of single storey rear extension

Date Decision: 14.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06310/HSE **Ward : Sanderstead**
Location : 49 The Woodfields **Type: Householder Application**
South Croydon
CR2 0HJ
Proposal : Demolition of lean to store room, garage conversion; Alterations and erection of single storey side extension to form Annex.

Date Decision: 14.02.22

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : 1 Abbey Road
South Croydon
CR2 8NJ

Type: **Village**
LDC (Proposed) Operations
edged

Proposal : Conversion of garage into habitable accommodation

Date Decision: 23.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/05598/FUL

Location : 166 Addington Road
South Croydon
CR2 8LB

Ward : **Selsdon Vale And Forestdale**

Type: Full planning permission

Proposal : Conversion of existing 4-bedroom flat into two flats, across first and second floor, with associated works.

Date Decision: 24.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05739/TRE

Location : 42 Kersey Drive
South Croydon
CR2 8SX

Ward : **Selsdon Vale And Forestdale**

Type: Consent for works to protected trees

Proposal : T1. Turkey Oak. A lateral reduction of 2m on the lower 3 branches that grow towards the house.
(TPO 21, 1972)

Date Decision: 23.02.22

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 21/06051/HSE

Location : 109 Markfield
Court Wood Lane
Croydon
CR0 9HP

Ward : **Selsdon Vale And Forestdale**

Type: Householder Application

Proposal : Erection of single-storey front and side extension.

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 14.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06317/HSE
Location : 12 Osprey Gardens
South Croydon
CR2 8TB

Ward : **Selsdon Vale And Forestdale**
Type: Householder Application

Proposal : Erection of front porch; alterations to flat roof of existing garage and conversion to a habitable room.

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/02152/FUL
Location : 323A Whitehorse Road
Croydon
CR0 2HR

Ward : **Selhurst**
Type: Full planning permission

Proposal : Demolition of commercial garage and construction of four storey building to provide six self-contained flats

Date Decision: 25.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/03857/FUL
Location : The Drum And Monkey
7 Gloucester Road
Croydon
CR0 2DH

Ward : **Selhurst**
Type: Full planning permission

Proposal : Demolition of outbuilding, erection of two storey rear extension and roof extension to existing building with 4 x dormer windows and changes to fenestration. Erection of a two storey building at the rear of the plot to facilitate 4 self-contained residential units and retention of pub.

Date Decision: 25.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/04222/HSE
Location : 6 Daffodil Close
Croydon
CR0 8XQ
Ward : **Shirley North**
Type: Householder Application
Proposal : Conversion of garage to habitable room; erection of a single-storey rear extension and raising ridge height of existing garage.

Date Decision: 18.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05194/NMA
Location : Parkwood House
56 Woodmere Avenue
Croydon
CR0 7DZ
Ward : **Shirley North**
Type: Non-material amendment
Proposal : Non-material amendment to planning permission 19/01352/ful granted for Demolition of a single-family dwelling and erection of a 3- storey block containing 2 x 3-bedroom and 7 x 2-bedroom apartments with associated access, 9 parking spaces, cycle storage and refuse store (alterations involve lowering of height of building).

Date Decision: 21.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/05582/HSE
Location : 7 Delamare Crescent
Croydon
CR0 7BW
Ward : **Shirley North**
Type: Householder Application
Proposal : Erection of first floor side extension, and Alterations

Date Decision: 23.02.22

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 21/05893/HSE **Ward : Shirley North**
Location : 15 Burrell Close Type: Householder Application
Croydon
CR0 7QL
Proposal : Erection of a two-storey side/front extension.

Date Decision: 25.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05906/HSE **Ward : Shirley North**
Location : 40 Longhurst Road Type: Householder Application
Croydon
CR0 7AS
Proposal : Erection of a part single, part two-storey side and rear extension.

Date Decision: 24.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06366/HSE **Ward : Shirley North**
Location : 197 The Glade Type: Householder Application
Croydon
CR0 7UN
Proposal : Erection of single storey side/rear extension

Date Decision: 18.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00059/GPDO **Ward : Shirley North**
Location : 33 Chaffinch Avenue Type: Prior Appvl - Class A Larger
Croydon House Extns
CR0 7SF

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum height of 3.25 metres

Date Decision: 22.02.22

Prior Approval No Jurisdiction (GPDO)

Ref. No. : 21/05509/HSE
Location : 40 Croham Park Avenue
South Croydon
CR2 7HH
Ward : **South Croydon**
Type: Householder Application
Proposal : Erection of single-storey rear extension of the garage and conversion into office / playroom

Date Decision: 24.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06313/HSE
Location : 12 Culmington Road
South Croydon
CR2 6DR
Ward : **South Croydon**
Type: Householder Application
Proposal : Alterations; Erection of single storey side/rear extension and first floor side extension.

Date Decision: 24.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00504/LP
Location : 38 Manor Way
South Croydon
CR2 7BS
Ward : **South Croydon**
Type: LDC (Proposed) Operations edged
Proposal : Demolition of existing chimneys and erection of rear box dormer and front skylights

Date Decision: 25.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/05840/HSE
Location : 33 Norhyrst Avenue
South Norwood
London
SE25 4BY
Ward : **South Norwood**
Type: Householder Application
Proposal : Erection of a rear roof dormer.

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Date Decision: 21.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06040/LP
Location : 89 Clifton Road
South Norwood
London
SE25 6PX
Proposal : Conversion of loft to habitable space and erection of rear dormer. Insertion of two velux windows to the front roof slope. Erection of two single storey rear extensions.

Ward : **South Norwood**
Type: LDC (Proposed) Operations edged

Date Decision: 17.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/06300/LP
Location : 147 Holmesdale Road
South Norwood
London
SE25 6JJ
Proposal : Conversion of loft to habitable space. Erection of rear and outigger dormers. Installation of front rooflights.

Ward : **South Norwood**
Type: LDC (Proposed) Operations edged

Date Decision: 15.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/00032/HSE
Location : Newlands
33 Warminster Road
South Norwood
London
SE25 4DL
Proposal : Alterations and single storey rear extension with alterations to rear patio.

Ward : **South Norwood**
Type: Householder Application

Date Decision: 24.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/00295/CAT
Ward : **South Norwood**

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : Hurst Court
229 Selhurst Road
South Norwood
London
SE25 6XW

Type: Works to Trees in a
Conservation Area

Proposal : T1 - Chestnut - Reduce canopy by 2M
T2 - Sycamore - Reduce canopy by 2M, ensuring healthy growth points for good regrowth.
T3 - Common Lime - Reduce canopy by 2M removing small secondary stem, ensuring healthy growth points for good regrowth.
T4 - Sycamore - Reduce canopy by 2M, ensuring healthy growth points for good regrowth.
T5 - Tree of Heaven - Reduce canopy by 2M, ensuring healthy growth points for good regrowth. Removing east? facing limb overhanging residential building back to healthy growth point.
T6 - Common Lime - Pollard to previous points
T7 - Common Lime - Pollard to previous points
T8 - Common Lime - Pollard to previous points
T9 - Common Lime - Pollard to previous points
T10 - Common Lime - Pollard to previous points
T11 - Common Lime - Pollard to previous points

Date Decision: 23.02.22

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 22/00382/CAT
Location : 2A South Norwood Hill
South Norwood
London
SE25 6AB

Ward : **South Norwood**
Type: Works to Trees in a
Conservation Area

Proposal : T1 - Giant Redwood - Fell due to subsidence

Date Decision: 24.02.22

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 21/03536/HSE
Location : 17 Cranleigh Gardens
South Norwood
London
SE25 6UH

Ward : **Thornton Heath**
Type: Householder Application

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Erection of garden annex ancillary to use of the main house and alterations to existing land levels including excavation works.

Date Decision: 24.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/05344/FUL

Ward : Thornton Heath

Location : Rooftop At Audrey House
50 Northwood Road
Thornton Heath

Type: Full planning permission

Proposal : Provision of additional telecommunications equipment and apparatus to existing base station installation on rooftop.

Date Decision: 15.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06260/FUL

Ward : Thornton Heath

Location : 153B Moffat Road
Thornton Heath
CR7 8PZ

Type: Full planning permission

Proposal : Alterations, erection of single-storey rear extension

Date Decision: 14.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06335/FUL

Ward : Thornton Heath

Location : 18 Norfolk Road
Thornton Heath
CR7 8ND

Type: Full planning permission

Proposal : Erection of single storey side/rear extension and alterations to existing rear extension including raising of roof. Formation of roof terrace and insertion of roof lights to rear roof slope. Conversion of single dwelling into 2 flats with associated refuse and cycle storage to frontage.

Date Decision: 24.02.22

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 21/06336/FUL **Ward : Thornton Heath**
Location : 222 Livingstone Road **Type: Full planning permission**
Thornton Heath
CR7 8JW
Proposal : Erection of hip to gable roof extension and full width rear dormer. Change of use from nursery (Class E) to residential (Class C3) and internal reconfiguration to provide 2 flats.
Date Decision: 17.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05777/NMA **Ward : Waddon**
Location : Land Rear Of 13 To 73 Stafford Road **Type: Non-material amendment**
Duppas Hill Road
Croydon

Proposal : Non material amendment to planning permission 19/02049/FUL for the erection of three buildings comprising 126 residential dwellings (Use Class C3), ranging from two to five storeys together with associated access, car parking, cycle parking, landscaping and associated infrastructure works. The amendments being sought are for alterations to the approved elevations of the buildings, including the repositioning of balconies, windows and doors to reflect changes to the internal layouts of units; other changes to the internal layout to provide more plant room space; relocation of accessible units to ground floor; removal of a lift; alterations to the landscape including the removal of footpaths and garden gates, extension of gardens, addition of nursery gate, increase in boundary fence height, omission of growing garden area, changes to the planting, redistribution of play areas, provision of a fully enclosed refuse store, changes to front garden layouts; introduction of retaining walls and steps, changes to parking layouts and the inclusion of substation and gated enclosure along the eastern boundary.

Date Decision: 23.02.22

Not approved

Level: Delegated Business Meeting

Ref. No. : 21/06068/NMA **Ward : Waddon**
Location : Land Rear Of 13 To 73 Stafford Road **Type: Non-material amendment**
Duppas Hill Road
Croydon

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Proposal : Non material amendment to planning permission 19/02049/FUL for the erection of three buildings comprising 126 residential dwellings (Use Class C3), ranging from two to five storeys together with associated access, car parking, cycle parking, landscaping and associated infrastructure works. The amendments being sought are for changes to the wording of conditions 7, 8, 9, 10, 11, 12, 13 and 17 attached to the original permission in order to alter the triggers setting out at which point within the development timescale that the details referred to in the conditions must be submitted and approved.

Date Decision: 25.02.22

Not approved

Level: Delegated Business Meeting

Ref. No. : 21/03756/DISC

Ward : Woodside

Location : Eldon Court
Eldon Park
South Norwood
London
SE25 4JG

Type: Discharge of Conditions

Proposal : Discharge of Condition 3 - Piling Method Statement, and 8 - External Facing Materials - attached to Planning Permission Ref 18/06049/FUL for Demolition of existing building and erection of a 5-storey building comprising 15 residential flats (6 x one bed, 8 x two bed and 1 x three bed) together with the provision of one disabled parking space, secure cycle parking, refuse storage, private and communal amenity space, associated landscaping and infrastructure works.

Date Decision: 15.02.22

Approved

Level: Delegated Business Meeting

Ref. No. : 21/06118/FUL

Ward : Woodside

Location : 66 Cobden Road
South Norwood
London
SE25 5NX

Type: Full planning permission

Proposal : Alterations, conversion of single dwelling to form 1 x 3 bed and 1 x 1 bed flats, erection of single-storey rear extension, formation of first floor roof terrace and provision of associated refuse and cycle storage.

Date Decision: 14.02.22

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Ref. No. : 22/00414/PDO **Ward : Woodside**
Location : O/S 133A Harrington Road **Type: Observations on permitted**
South Norwood **development**
London
SE25 4NW

Proposal : Installation of 1x DSLAM equipment cabinet olive green, the dimensions of which are:
height 1300mm x length 800mm x depth 450mm

Date Decision: 16.02.22

No Objection

Level: Delegated Business Meeting

Ref. No. : 21/05644/FUL **Ward : West Thornton**
Location : 1 Colliers Water Lane **Type: Full planning permission**
Thornton Heath
CR7 7LE

Proposal : Use of existing outbuilding in rear garden as a self-contained granny annexe in
connection with existing HMO and (retrospective) erection of verandah.

Date Decision: 25.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/05944/FUL **Ward : West Thornton**
Location : 12 Galpins Road **Type: Full planning permission**
Thornton Heath
CR7 6EA

Proposal : Erection of single storey rear extension, and outbuilding and conversion of the existing
house into 2no. self contained flats (amended description)

Date Decision: 23.02.22

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 21/06263/LP **Ward : West Thornton**
Location : 16 Dunheved Close **Type: LDC (Proposed) Operations**
Thornton Heath **edged**
CR7 6AQ

Proposal : Erection of single storey rear extension.

Date Decision: 14.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/06324/FUL **Ward : West Thornton**
Location : Workshop Rear Of 106 **Type: Full planning permission**
Bensham Lane
Thornton Heath
CR7 7ES

Proposal : Change of use from Builders Yard and the proposed erection of a two storey (including basement) dwelling with a roof terrace. Associated site alterations

Date Decision: 16.02.22

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/00003/LP **Ward : West Thornton**
Location : 80 Harcourt Road **Type: LDC (Proposed) Operations**
Thornton Heath **edged**
CR7 6BW

Proposal : Erection of rear dormer and provision of rooflights in front roofslope.

Date Decision: 24.02.22

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/00005/GPDO **Ward : West Thornton**
Location : 80 Harcourt Road **Type: Prior Appvl - Class A Larger**
Thornton Heath **House Extns**
CR7 6BW

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres

Date Decision: 22.02.22

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 22/00413/NMA **Ward : West Thornton**

Decisions (Ward Order) since last Planning Control Meeting as at: 28th February 2022

Location : Croydon University Hospital Type: Non-material amendment
530 London Road
Thornton Heath
CR7 7YE

Proposal : Non-Material Amendment (S96a) to Planning Permission ref. 20/04213/FUL for 'Erection of passenger Lift Shaft and linking corridors to the London and Jubilee Wings and Croydon University Hospital'. Amendment seeks to alter cladding of linking corridor, and the associated re-wording of Condition 2

Date Decision: 25.02.22

Not approved

Level: Delegated Business Meeting

This page is intentionally left blank